

## Village Board Meeting Notice and Agenda

Monday, July 13, 2020 – 6:30 pm  
Sherwood Village Hall – W482 Clifton Rd., Sherwood, WI.

**NOTE: Due to COVID-19 restrictions, residents are not allowed in the Village Hall.**

**To 'join' the meeting at 6:30pm via Webex:** Go to the Village home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). The Webex meeting link is located in the upper right-hand side of your computer screen. You may print or save a copy of the complete meeting packet.

**Join via telephone (without video):** Tel #: 1-408-418-9338. Access Code: 628 186 722# Attendee ID: 51#

**Regarding Public Hearings:** Speakers will be allowed in the Village Hall and may speak directly to the Board one person at a time for up to 3 minutes, and only with a face mask.

- 1) Call to Order and Roll Call.
- 2) Pledge of Allegiance.
- 3) Approval of the Agenda.
- 4) Approval of Minutes: June 22 (Regular Meeting).
- 5) Registered Citizen Comments on Agenda Items.
- 6) Public Hearing(s):
  - a. *RP #2019-01:* A rezoning petition (*Drive Fore Success, LLC*) to rezone Tax ID #13425 (18<sup>th</sup> Hole; High Cliff Golf Course) from IR-1 to IR-2 zoning, allowing housing construction.
  - b. *PUD #2019-02:* Consider a Planned Unit Development (*Drive Fore Success, LLC*) allowing development of (22 buildings) 44 duplex units on current 18<sup>th</sup> Hole of HCGC (11.3 acres).
  - c. *CPA #2020-01:* A *Comprehensive Plan Amendment* (Village) in concert with *RP #2019-01* and/or *PUD #2019-02* regarding the land use of *High Cliff Golf Course* Hole #18 (Parcel #13425; *Drive Fore Success, LLC*); Maps 8-3 (Land Use) and 8-4 (Future Land Use).
- 7) Report of the Joint Review Board Recommendation:
  - a) FY19 TIF Districts #1, #2 & #3 Financial Reports (by CLA; Approved.) Info, only.
- 8) Report of the Plan Commission (July 6)
  - a) *CSM #2020-01:* Request (Village) to create new Condon Road R-O-W. Approve.
  - b) *CSM #2020-02:* Request (Kress) to re-create Tax ID #s 13530 (N599 Military Rd., et. al.; predominantly farmland), #13532 (Sherwood Elevator), #13524 (Sherwood Elevator), #13511 (Sherwood Elevator) into Lots #1 Approve.  
(7.813ac. – Sherwood Elevator operations) and Lot #2 (37.396ac. – Ag. land).
  - c) *RP #2020-01:* Request (West) to split and rezone Tax ID# 13504 (N364 Military Rd.) from current IR-2 zoning into two parcels; Lot #1 = 2.0ac. parcel with dwelling remains as IR-2; Lot #2 = 9.0ac to be rezoned as C-2 (commercial).  
Following CSM lot-split & Public Hearing, Approve.

Welcome to the Village Board Meeting! Please observe the following rules of conduct during the meeting:

1. Register to speak on the sign-in sheet on the table in the back of the room as you enter.
2. Speak only to issues on the Agenda.
3. Limit your presentation to three (3) minutes.
4. Do not address Trustees during deliberations unless requested to do so.
5. Any item listed on the Agenda may be acted upon by the Board.
6. A Quorum of any other Board or Commission is incidental to the V. Board meeting and no action shall be taken on their behalf.
7. Requests from persons w/ disabilities needing assistance to participate should be made to the Clerk (989-1589).

- d) *Outdoor Entertainment structure/area*: (Informational) Request (Djupstrum)  
To place 24x24' outdoor entertainment space (structure) in rear yard.  
Code does not presently allow.
- e) *(Discussion) Concept Plan regarding former-Sherwood Forest Golf Course (75ac.)*:  
UP Builders, LLC discussion regarding redevelopment of former golf course land into residential housing, as currently zoned and allowed in 'IR-2' zoning.
- 9) Report of Village Officers.
  - a) Village President.
  - b) Fox Cities Area Room Tax Commissioner.
  - c) Clerk/Treasurer.
    - i. Financial Reports.
      - 1. *Consent Agenda* (Financials).
      - 2. Operators Licenses: 6 Applications.
      - 3. *Operator License* (In-person, per June 22 Meeting)
        - Malorie Drago
      - 4. *'Open Book'* and *'Board of Review'*: Schedule meeting times/dates.
- 10) Village Engineer and/or Utility Operator:
- 11) Village Administrator: Update.
- 12) Old Business:
  - a) Computer devices for Village Boards: Update.
- 13) New Business:
  - a) *Concept Plan*: Consider plan (*Drive Fore Success, LLC*) for 22-building (44 duplexes) on Hole #18 at High Cliff Golf Course.
  - b) *RP #2019-01*: Consider petition (*Drive Fore Success, LLC*) to rezone Tax ID #13425 (18<sup>th</sup> Hole; High Cliff Golf Course) from IR-1 to IR-2 zoning, allowing housing construction.
  - c) *PUD #2019-02*: Consider Planned Unit Development (*Drive Fore Success, LLC*) allowing development of (22 buildings) 44 duplex units on current 18<sup>th</sup> Hole of HCGC (11.3 acres) on private driveway.
  - d) *CPA #2020-01*: (*Based on above outcomes*) Consider *Comprehensive Plan Amendment* (Village) in concert with *RP #2019-01* and/or *PUD #2019-02* regarding land use at *High Cliff Golf Course* Hole #18 (Parcel #13425; *Drive Force Success, LLC*); Maps 8-3 (Land Use) and 8-4 (Future Land Use).
  - e) Clerk-Treasurer Hiring Process: Discuss Hiring Committee continuance of review process, interviews, and reporting back to Village Board.
- 14) Complaints & Compliments:
  - a) *Resident Booher and Village Administrator e-mails regarding forward messages to Village Board Members received late for Agenda packet inclusion and during Administrator's vacation* (July 7).
- 15) Correspondences:
  - a) (*High Cliff Golf Course re-development*) *Concern regarding rezoning & Comp. Plan change Hennlich*; July 9).

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- b) *Accommodations for those unable to Attend Electronic Meetings* (Town Counsel Law & Litigation, LLC; July 9).
  - c) *Protest Petition regarding Proposed Zoning Change for Tax Parcel #13425* (Resident petition; July 8).
  - d) *(High Cliff Golf Course re-development) Concerns over Proposed Condensed Duplex Village Housing* (Booher, Anderson – July 8).
  - e) *(High Cliff Golf Course re-development) Letters of Support for Proposed Re-Zoning* (Mincheff, Goerlitz, Fischer, McKown, Vendegna, Thoreson, Meyer, Nelson, Helker, Griesser, Schlies, Albers, Lowe; July 8).
  - f) *Infrastructure partnership* (WisDOT; July 7).
  - g) *(High Cliff Golf Course re-development) Concern regarding holding Public Hearing* (Booher; July 6).
  - h) *Property Tax Installment Deferral* (Calumet County; July 6).
  - i) *Monthly Report – May* (Calumet County Sheriff's Dept; June 30).
  - j) *Support for Opening Village Parks* (Pluimer; June 15).
  - k) *High Cliff Golf Course re-development) Support for Proposed Re-Zoning* (Delfosse; June 11).
- 16) Adjournment.

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7. Requests from persons w/ disabilities needing assistance to participate should be made to the Clerk (989-1589).

## Village Board Meeting Minutes June 22, 2020

NOTE: Due to COVID-19 restrictions, residents are **not** allowed in the Village Hall but may 'join' the meeting at 6:30pm via Webex meeting home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). On the upper right-hand side of your computer screen you will see the link to join the Webex meeting. You may also print or save a copy of the complete meeting packet.

- 1) Call to Order and Roll Call – *President Laux called the meeting to order at 6:30 p.m. with roll call*

<b>Present</b>	<b>Absent</b>
<i>Bob Benz (virtual)</i>	<i>None</i>
<i>Paul Grube (virtual)</i>	<b>Others Present</b>
<i>Roger Kaas</i>	<i>Kathy Mader, Acting Clerk</i>
<i>Joyce Laux</i>	<i>Brenda Stumpf, Recreation Coordinator</i>
<i>David Miller</i>	<i>Craig Hamilton, AIT (virtual)</i>
<i>Lisa Ott (virtual)</i>	<i>Thad Majkowski, Cedar Corp (virtual)</i>
<i>Kathy Salo (virtual)</i>	

- 2) Pledge of Allegiance – *Recited.*

- 3) Approval of the Agenda – ***Kaas moved to approve the agenda. Miller seconded. Motion carried unanimously.***

- 4) Approval of Minutes: June 8 (Regular Meeting) – ***Salo moved to approve the June 8 minutes with noted change. Benz seconded. Motion carried unanimously.***  
*Salo noted the minutes should reflect “...Fire Pit regulations are being brought forward for approval by the...” Plan Commission not by “the Village Board.”*

- 5) Registered Citizen Comments on Agenda Items –

- Bob Anderson N7829 S Niagara Ct Re item 13  
*Anderson stated his complaint is the decision by the Village Board to hold the July 13 Public Hearing virtually. He suggests the Village Board consider a combination virtual/live attendance.*

- 6) Report of the Parks, Rec. and Urban Tree (PRUT) Board (June 15)

- a) Trail Mapping (Cedar Corp) – ***Salo move to recommend Village Board approval of Trail Mapping to be completed by Cedar Corp at a cost not to exceed \$750. Kaas seconded. Motion carried unanimously.***

- b) Splash Pad; Touch Pad Controller (CRS) – *No motion at this time.*

*Stumpf reported a Touch Pad Interface was purchased (\$1,162.18) for existing issue. If the issue continues, CRS has recommended she purchase the Maestro Controller (\$7,440). Stumpf stated, since the PRUT meeting, she has installed the interface and it is working. Stumpf was directed to take splash pad out of winterization mode, install the meter and run the system regularly for a short period each time.*

- c) Opening of Parks and Recreational Spaces – Re: Wanick Park and Legion Park – Gym and Village offices to remain closed until further notice.
- Playground/Courts – PRUT recommends approval to open the playgrounds and basketball and tennis courts with COVID – 19 Safety Guidelines signage posted.  
***Salo moved to accept PRUT Recommendation to open the playgrounds and courts starting July 1, 2020. Ott seconded. Motion carried unanimously.***
  - Bathrooms – PRUT recommends approval to open the bathrooms with revised hours, 10 am to 5 pm, with routine cleaning every morning before opening and midday, no water fountain will be on, and COVID-19 restroom recommendation signage posted on doors.  
***Kaas moved to accept PRUT Recommendation to open the bathrooms with the revised hours, routine cleaning as stated and no water fountain on. Miller seconded. Motion carried unanimously.***
  - Park Rentals – PRUT recommends existing rentals to be allowed, new rentals for residents only and all sign an Assumption of Risk and Waiver of Liability Relating to COVID-19. –  
***Miller moved to accept PRUT Recommendation for 2020 Park rentals. Benz seconded. Motion carried unanimously.***
  - Splash Pad – PRUT recommends the splash pad remain closed with the potential to revisit at July meeting.  
***Benz moved to accept PRUT Recommendation to keep the Splash Pad closed. Salo seconded. Motion carried unanimously.***
  - Planned Activities –
    - Sunday Afternoon Entertainment – Recommend Approval
    - Ice Cream Social – Recommend Cancel
    - Movie Night – Recommend Approval with possible additional movies
    - Summerfest – Recommend Cancel
    - Tennis Lessons – Recommend Approval for July session, limited number and signed waiver
    - Fitness Classes – Zumba and Fit Camp – Recommend approval at park with signed waiver.***Salo moved to accept PRUT Recommendation to hold the Sunday Afternoon Entertainment, cancel the Ice Cream Socials, hold the Movie Nights, cancel the Summerfest, allow tennis lessons and hold fitness classes at park. Benz seconded. Motion carried unanimously.***
  - Pop up Library visit to Sherwood (Kaukauna Library) – ***Kaas moved to accept PRUT recommendation to allow Pop up Library. Ott seconded. Motion carried unanimously.***

7) Report of Village Officers.

- a) Village President – *Laux stated she has received concerned calls regarding the July 13 Public Hearing being held virtually. She conferred with the village attorney for alternative options. The following options will be allowed for the public hearing:*
- 1) *If resident does not have access, they are encouraged to write comments and bring to the village office.*
  - 2) *Recommend allowing one person at a time into the board room during the public hearing for the allotted three minutes.*
  - 3) *Call in*
  - 4) *Access via internet*
- b) Fox Cities Area Room Tax Commissioner – *Benz reported a virtual meeting was held on June 15<sup>th</sup>. Room tax receipts are down \$191,000 this year from 2019. Obviously, Covid has played a factor. Receipts have been received from Air bnb's for the first time. Practice sessions have resumed at the sports center.*
- c) Clerk/Treasurer.
- i. Financial Reports.
    1. Consent Agenda (Financials; License requests)
    2. Operator License Application 32
    3. Operator License Application 1

***Salo moved to approve the Consent agenda including the financials, new Alcohol and renewal Alcohol licenses, tobacco licenses, 32 operator licenses and not renew operator license for Malorie Dragoo. Benz seconded. Motion carried unanimously.***

*Salo suggests Dragoo visit the next VB meeting virtually to discuss her operator license application.*
- 8) Village Engineer and/or Utility Operator: FY17, 18 & 19 Road Projects – Warranty Work – *Majkowski reported MCC crews were in the village to clean up the 2019 warranty work. MCC has hired a landscaping company to complete the 2017 and 2018 warranty work. Laux inquired if all the electric poles are done on Margaret Court. Majkowski will look into why the one pole is still without a light.*
- 9) Village Administrator: Updates – *Nothing.*
- 10) Old Business:
- a) Computer devices for Village Boards: Update – *Nothing.*
- 11) New Business:
- a) Pond View Estates subdivision: Consider acceptance of public infrastructure and fulfillment of conditions to allow issue building permits.
    - i) Accept public improvements by Resolution (per Developer Agreement §9b).
 

***Miller moved to accept public improvements by Resolution 2020-03. Kaas seconded. Benz – Aye, Grube – Aye, Kaas – Aye, Laux – Aye, Miller – Aye, Ott – Aye, Salo – Aye.***

*Majkowski confirmed the improvements have been inspected and he has submitted a letter of acceptance for Pond View Estates in order for the developer to obtain building permits (June 18, 2020).*

- ii) Establishment of Escrow Account per Developer Agreement: Request to establish account funding roadway construction (\$282,851.70) for purposes of obtaining building permits (per Developer Agreement §3).  
***Kaas moved to approve Establishment of Escrow Account per Developer Agreement to establish account funding roadway construction in the amount \$282,851.70 for purposes of obtaining building permits. Miller seconded. Motion carried unanimously.***
  - iii) Developer payment for Street Trees (\$19,500; per Developer Agreement §21) – ***Miller moved to approve Developer payment for street trees in the amount \$19,500 per developer agreement. Kaas seconded. Motion carried unanimously.***
- 12) Clerk-Treasurer Hiring Process: Discuss Hiring Committee continuance of review process, interviews, and reporting back to Village Board – *Laux stated the subcommittee will meet after this evening's meeting.*
- 13) Complaints & Compliments: *None.*
- 14) Correspondences:
- a) Notice of Levy Limit Violation [\$6,998] (Wis. Dept. of Revenue; June 5) – *Staff directed to contact the WDOR to request details and explanation.*
  - b) T-33 Airplane (American Legion Post #496 – Meeting Minutes (June 8).
- 15) Adjournment – ***Salo moved to adjourn at 7:32 p.m. Kaas seconded. Motion carried unanimously.***

Respectfully submitted for review and approval by Kathy Mader, Acting Clerk

# Request For Zoning Amendment #

Plan Commission  
Sherwood, Wisconsin

Amendment Request No. 192019-01  
Date: 10-30-2019

(Do not write in this space--For office use only)

Date set for hearing: JULY 13, 2020  
 Notice published on: JUNE  
 Newspaper: JUNE - Village  
 Recommendation of Plan Commission  
 Denied  
 Approved  
 Approved with Modification

Fee Paid--Receipt No. 105 (K.V.H.)  
 Amount \$ 350.00 Date: 10-30-2019  
 Action by Village Board  
 Denied  
 Approved  
 Approved with Modification  
 Ordinance No. \_\_\_\_\_  
 Date: \_\_\_\_\_

Instructions to Applicants: To request a change in either the zoning map or text, this application for a zoning amendment must be completed and a public hearing held. If the applicant is requesting that his property be rezoned, a site plan must be included with the application showing the information listed below. Normally there are only two primary reasons for a change in zoning: (1) the original zoning was in error; (2) the character of the area has changed to such an extent as to warrant rezoning. The burden of providing substantiating evidence rests with the applicant. A notice of the hearing must be published in a newspaper of general circulation in the local area as a class 1 notice before the hearing and the publication cost must be paid by the applicant prior to the hearing. The applicant will be notified by mail of the time and place of the hearing at least ten (10) days prior to the hearing date. The applicant or his attorney or duly-authorized agent must appear at the hearing and present his case to the Plan Commission. All information requested below must be provided before a hearing will be scheduled. Applicants are encouraged to visit the Office of the Code Administrator for any assistance needed in completing this application.

1. Name of Applicant(s): DRIVE FORE SUBROSS, LLC Phone: 920-989-1048  
 Address: (Street) W 5055 GOLF COURSE RD (City) SHERWOOD (Zip) 54169

2. Property interest of applicant:  
 Owner  Contract Purchaser  Lessee  Other: \_\_\_\_\_

3. Name of Owner(s) (if other than applicant): \_\_\_\_\_ Phone: \_\_\_\_\_  
 (Attach additional sheets if necessary)

4. An amendment to the Zoning Ordinance is requested as follows:  
 A.  Amendment to Text:  
 It is requested that Section 13425 of the Zoning Ordinance be amended as follows:  
RECREATIONAL INDUSTRIAL DISTRICT (R-I) TO RECREATIONAL INDUSTRIAL/RESIDENTIAL (R-I-2)  
 Reason for Amendment: Construction of Private Unit Development - The Cottages at High Cliff, etc

B.  Amendment to Map:  
 It is requested that the property described below and shown on the attached site plan be rezoned from  
R-I-2 to R-I-2  
 Address of property: (Street) W 5055 GOLF COURSE RD (City) SHERWOOD (Zip) 54169  
 Legal description of property (lot, block and subdivision or metes and bounds; attach additional sheets if necessary):

Present use of property: 18th hole on the Golf Course  
 Proposed use of property: PUD  
 Reason for amendment: IN ORDER TO CONSTRUCT THE PUD

5. Names of Adjacent Property Owners:  
 Following are the names of owners of all property within 100 feet of the subject property, including those directly across the street, and present use of their property:

Name	Address	Present Use
<u>See Attached</u>		

6. I certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate. I consent to the entry in or upon the premises described in this application by any authorized official of the Village of Sherwood for the purpose of inspecting or of posting, maintaining and removing such notices as may be required by law.

Date: 10-29-19 Applicant: David G. Rygel  
 Date: \_\_\_\_\_ Owner(s): \_\_\_\_\_

### SITE PLAN

A site plan must be attached or drawn below at a scale large enough for clarity showing the following information:  
 A. Location and dimensions of: Lot, buildings, driveways, and off-street parking spaces.  
 B. Distance between: Buildings and front, side, and rear lot lines; Principal building and accessory buildings; Principal building and principal buildings on adjacent lots.  
 C. Location of: Signs, easements, underground utilities, septic tanks, tile fields, water wells, etc.  
 D. Any additional information as may reasonably be required by the Zoning Administrator and applicable Sections of the Zoning Ordinance.



W482 Clifton Road  
P. O. Box 279  
Sherwood, WI 54169-0279

Tel: 920-989-1589  
Fax: 920-989-4084  
[www.villageofsherwood.org](http://www.villageofsherwood.org)

Date: June 4, 2020

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**NOTICE OF PUBLIC HEARING**

**Monday, July 13, 2020 – 6:30PM**

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**NOTICE IS HEREBY GIVEN**, the Sherwood Village Board will hold a public hearing at W482 Clifton Road, Sherwood, WI on July 13, 2020, beginning approximately 6:30pm, to consider a Rezoning Request (RP #2019-01).

Parcel currently zoned 'IR-1' (Recreation Industry District) with proposed change to 'IR-2' (Recreation Industry/Residential District). Parcel owner (Drive Fore Success, LLC) petitions change of High Cliff Golf Course 18<sup>th</sup> Hole (Parcel #13425; located at SE 1/4, Sect. 25, Town 20 North, Range 18 East), Sherwood, lying north of State Park Road, east of Golf Course Road and west of Palisades Trail abutting High Cliff Banquet & Event Center and Pro Shop. Parcel is 11.3 ac.

**NOTICE IS HEREBY GIVEN**, the Sherwood Village Board will hold a public hearing at W482 Clifton Road, Sherwood, WI on July 13, 2020, beginning approximately 6:30pm, to consider a Planned Unit Development (PUD #2019-02):

Owner (Drive Fore Success, LLC) petitions development of a 22-building, duplex development (44 units) on portion of High Cliff Golf Course (Parcel #13425; 18<sup>th</sup> Hole; located at SE 1/4, Sect. 25, Town 20 North, Range 18 East), Sherwood, lying north of State Park Road, east of Golf Course Road and west of Palisades Trail abutting High Cliff Banquet & Event Center and Pro Shop. Parcel is 11.3 ac. Developed lots are to be individually-owned; 55+ age-restricted; on private road within HCGC intersecting at State Park Road and Palisades Trail.

**NOTICE IS HEREBY GIVEN**, the Sherwood Village Board will hold a public hearing at W482 Clifton Road, Sherwood, WI on July 13, 2020, beginning approximately 6:30pm, to consider amending the Village of Sherwood Comprehensive Plan regarding RP #2019-01 and PUD #2019-02:

As necessary, the Comprehensive Plan Amendment CPA #2020-01 would change the *Future Land Use Map* to reflect approval of High Cliff Golf Course Hole #18 (Parcel #13425; located at SE 1/4, Sect. 25, Town 20 North, Range 18 East), Sherwood, lying north of State Park Road, east of Golf Course Road and west of Palisades Trail abutting High Cliff Banquet & Event Center and Pro Shop. 11.3ac.), currently zoned 'IR-1' (Recreation Industry District) with proposed change to 'IR-2' (Recreation Industry/Residential District).

**VILLAGE OF SHERWOOD**  
**NOTICE OF PUBLIC HEARING**

**MONDAY, March 2, 2020 – 6:30PM (Village Hall)**

**NOTICE IS HEREBY GIVEN**, the Sherwood Plan Commission will hold a public hearing at W482 Clifton Road, Sherwood, WI on March 2, 2020, beginning approximately 6:30pm, to consider a Rezoning Request (RP #2019-01).

Parcel currently zoned 'IR-1' (Recreation Industry District) with proposed change to 'IR-2' (Recreation Industry/Residential District). Parcel owner (Drive Fore Success, LLC) petitions change of High Cliff Golf Course 18<sup>th</sup> Hole (Parcel #13425; located at SE 1/4, Sect. 25, Town 20 North, Range 18 East), Sherwood, lying north of State Park Road, east of Golf Course Road and west of Palisades Trail abutting High Cliff Banquet & Event Center and Pro Shop. Parcel is approximately 11.3 ac.

Documents available for inspection at the Sherwood Village Hall, W482 Clifton Road, workdays between 8:30am and 4:30pm.

**NOTICE IS HEREBY GIVEN**, the Sherwood Plan Commission will hold a public hearing at W482 Clifton Road, Sherwood, WI on March 2, 2020, beginning approximately 6:30pm, to consider a Planned Unit Development (#2019-02):

Parcel owner (Drive Fore Success, LLC) petitions to allow development of a 22-building, duplex development (44 units) on portion of High Cliff Golf Course 18<sup>th</sup> Hole (Parcel #13425; located at SE 1/4, Sect. 25, Town 20 North, Range 18 East), Sherwood, lying north of State Park Road, east of Golf Course Road and west of Palisades Trail abutting High Cliff Banquet & Event Center and Pro Shop. Parcel is approximately 11.3 ac. Developed lots are to be individually-owned on a private road within the golf course intersecting at State Park Road and Palisades Trail.

Documents available for inspection at the Sherwood Village Hall, W482 Clifton Road, workdays between 8:30am and 4:30pm.

**NOTICE IS HEREBY GIVEN**, the Sherwood Plan Commission will hold a public hearing at W482 Clifton Road, Sherwood, WI on March 2, 2020, beginning approximately 6:30pm, to consider amending the Village of Sherwood Comprehensive Plan regarding RP #2019-01 and PUD #2019-02:

As necessary, the Comprehensive Plan Amendment would change the *Future Land Use Map* to reflect approval of High Cliff Golf Course Hole #18 (Parcel #13425; located at SE 1/4, Sect. 25, Town 20 North, Range 18 East), Sherwood, lying north of State Park Road, east of Golf Course Road and west of Palisades Trail abutting High Cliff Banquet & Event Center and Pro Shop. Approx. 11.3ac.), currently zoned 'IR-1' (Recreation Industry District) with proposed change to 'IR-2' (Recreation Industry/Residential District).

Documents available for inspection at the Sherwood Village Hall, W482 Clifton Road, workdays between 8:30am and 4:30pm.

ROLAND N SMOOT III ✓  
SUSAN J SMOOT ✓  
N7779 SPURLINE CT  
SHERWOOD, WI 54169

KENNETH FROZENA ✓  
W5045 GOLF COURSE RD ✓  
SHERWOOD, WI 54169

JAMIE E DUCHOW ✓  
ANN M DUCHOW ✓  
W5082 FOX LN  
SHERWOOD, WI 54169

SUE ELLEN HERRMANN ✓  
THOMAS HERRMANN ✓  
N7782 SPURLINE CT  
SHERWOOD, WI 54169

TIMOTHY J MATHERS ✓  
CATHERINE R MATHERS ✓  
N7790 SPURLINE CT  
SHERWOOD, WI 54169

DEANNE C ANDERSON ✓  
ROBERT W ANDERSON ✓  
N7829 S NIAGARA CT  
SHERWOOD, WI 54169

CHRISTOPHER H FIEDLER ✓  
JASMINE M MORRISON ✓  
N7820 S NIAGARA CT  
SHERWOOD, WI 54169

MICHAEL W WOOD ✓  
KRISTIN A GOERG-WOOD ✓  
N7830 S NIAGARA CT  
SHERWOOD, WI 54169

PAULINE R MCMULLEN ✓  
PATRICK J MCMULLEN ✓  
W4947 GOLF COURSE RD  
SHERWOOD, WI 54169

MARK J DAMRO ✓  
MARY BETH DAMRO ✓  
W4933 GOLF COURSE RD  
SHERWOOD, WI 54169

JAMES M WELISEK ✓  
W4923 GOLF COURSE RD ✓  
SHERWOOD, WI 54169

CHRISTOPHER V CANINO ✓  
JENNIFER L CANINO ✓  
W4916 GOLF COURSE RD  
SHERWOOD, WI 54169

CALVIN D HAYDEN ✓  
JOAN M HAYDEN ✓  
W4906 GOLF COURSE RD  
SHERWOOD, WI 54169

KAREN BALL ✓  
RICHARD T BALL ✓  
W4900 GOLF COURSE RD  
SHERWOOD, WI 54169

BOOHER TRUST ✓  
W4897 GOLF COURSE RD  
SHERWOOD, WI 54169

MICHAEL J COOK ✓  
SUZANNE M COOK ✓  
N7770 PALISADES TR  
SHERWOOD, WI 54169

JEAN M DEKEYSER RT ✓  
KERRY J DEKEYSER ✓  
N7760 PALISADES TR  
SHERWOOD, WI 54169

TROY A NEUBER ✓  
N7827 PALISADES CIR  
SHERWOOD, WI 54169

JASON R NEUVILLE ✓  
N7817 PALISADES CIR  
SHERWOOD, WI 54169

MICHAEL J FINET ✓  
N7816 PALISADES CIR  
SHERWOOD, WI 54169

DANIEL T CHRIST ✓  
KARIN A CHRIST ✓  
N7759 PALISADES TR  
SHERWOOD, WI 54169

SHERWOOD CONDOS LLC ✓  
W5075 GOLF COURSE RD  
SHERWOOD, WI 54169

FRANCIS J SCHNEIDER ✓  
WILFORD W ELLIOTT & WILLIAM ENGLER JR  
121 W BREED STREET  
CHILTON, WI 53014

CINDY A SHAW ✓  
ROBERT J SHAW ✓  
W5035 GOLF COURSE RD  
SHERWOOD, WI 54169

## Randy Friday

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**From:** Ashley Lehocky <alehocky@towncounselaw.com>  
**Sent:** Thursday, July 09, 2020 3:02 PM  
**To:** Randy Friday  
**Cc:** Lindsay Borngraver  
**Subject:** Accommodations for those Unable to Attend Electronic Meetings  
**Attachments:** 3.16.20\_OOG Advisory\_COVID-19\_and\_Open\_Meetings.pdf

Randy,

As discussed by phone today, I believe that the notice provided for the public hearing on July 13<sup>th</sup> was proper. That notice states:

*NOTE: Due to COVID-19 restrictions, residents are not allowed in the Village Hall but may 'join' the meeting at 6:30pm via Webex meeting home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). At the upper right-hand side of your computer screen is the link to join. You may print or save a copy of the complete meeting packet.*

As I understand it, a number of residents contacted Village staff concerned that they would not be able to speak during the public comment portion of the meeting via Webex. As a result, the Village accommodated such individuals by allowing them to enter the building, one at a time, while masked to give comment during the hearing. This accommodation ensured that individuals unable to attend or participate remotely were still heard.

As a result of the current health pandemic, the DOJ issued an advisory opinion in March addressing the issue of compliance with open meetings law by meeting via telephone/web/video conferencing. That advisory opinion states in part that "Governmental bodies typically can meet their open meetings obligations, while practicing social distancing to help protect public health, by conducting meetings via telephone conference calls if the public is provided with an effective way to monitor such calls (such as public distribution, at least 24 hours in advance, of dial-in information for a conference call)."

The opinion cautions that the governmental body conducting the meeting should be mindful of the possibility that it may overly burdensome or impossible for one or more individuals to observe a meeting electronically. The advisory states that the governmental body should provide appropriate accommodations to facilitate access to the meeting for such individuals.

Allowing individuals who wished give public comment, but were not able to do so electronically is an appropriate accommodation made in the discretion of the Village Board. It does not have any legal impact on the sufficiency of notice. I've attached the DOJ advisory here for reference. Please let me know if you have any additional questions or concerns.

Thank you,

**Ashley C. Lehocky**  
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*Wisconsin Open Meetings Law Compliance Guide* 11 (May 2019), <https://www.doj.state.wi.us/sites/default/files/office-open-government/Resources/OML-GUIDE.pdf>.

When an open meeting is held by teleconference or video conference, the public must have a means of monitoring the meeting. DOJ concludes that, under the present circumstances, a governmental body will typically be able to meet this obligation by providing the public with information (in accordance with notice requirements) for joining the meeting remotely, even if there is no central location at which the public can convene for the meeting. A governmental body conducting a meeting remotely should be mindful of the possibility that it may be particularly burdensome or even infeasible for one or more individuals who would like to observe a meeting to do so remotely—for example, for people without telephone or internet access or who are deaf or hard of hearing—and appropriate accommodations should be made to facilitate reasonable access to the meeting for such individuals.

To be clear, providing only remote access to an open meeting is not always permissible, as past DOJ guidance shows. Where a complex plan, drawing, or chart is needed for display or the demeanor of a witness is significant, a meeting held by telephone conference likely would not be “reasonably accessible” to the public because important aspects of the discussion or deliberation would not be communicated to the public. *See* 69 Op. Att’y Gen. at 145. Further, the type of access that constitutes reasonable access in the present circumstances, in which health officials are encouraging social distancing (including avoiding large public gatherings) in order to mitigate the impact of COVID-19, may be different from the type of access required in other circumstances. Ultimately, whether a meeting is “reasonably accessible” is a factual question that must be determined on a case-by-case basis. *Id.*

If you have questions or concerns regarding the application of the open meetings law, please contact the Office of Open Government at (608) 267-2220.



**Josh Kaul**  
Wisconsin Attorney General

**P.O. Box 7857**  
**Madison, WI 53707-7857**

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**FOR IMMEDIATE RELEASE**

March 16, 2020

**Office of Open Government Advisory:  
Coronavirus Disease 2019 (COVID-19) and Open Meetings**

MADISON, Wis. – The Wisconsin Department of Justice’s (DOJ) Office of Open Government (OOG) has prepared the following advisory in response to inquiries as to the applicability of the Wisconsin’s open meetings law, Wis. Stat. §§ 19.81 to 19.98, in light of current public health concerns regarding COVID-19. This advisory is provided pursuant to Wis. Stat. § 19.98.

As explained below, governmental bodies typically can meet their open meetings obligations, while practicing social distancing to help protect public health, by conducting meetings via telephone conference calls if the public is provided with an effective way to monitor such calls (such as public distribution, at least 24 hours in advance, of dial-in information for a conference call).

The open meetings law states: “[I]t is declared to be the policy of this state that the public is entitled to the fullest and most complete information regarding the affairs of government as is compatible with the conduct of governmental business.” Wis. Stat. § 19.81(1). To that end, the law requires that “all meetings of all state and local governmental bodies shall be publicly held in places reasonably accessible to members of the public and shall be open to all citizens at all times unless otherwise expressly provided by law.” Wis. Stat. § 19.81(2). A meeting must be preceded by notice providing the time, date, place, and subject matter of the meeting, generally, at least 24 hours before it begins. Wis. Stat. § 19.84.

The open meetings law “does not require that all meetings be held in publicly owned places but rather in places ‘reasonably accessible to members of the public.’” 69 Op. Att’y Gen. 143, 144 (1980) (quoting 47 Op. Att’y Gen. 126 (1978)). As such, DOJ’s longstanding advice is that a telephone conference call can be an acceptable method of convening a meeting of a governmental body. *Id.* at 146. More recently, DOJ guidance deemed video conference calls acceptable as well. Wis. Dep’t of Justice,

§ 22-109 **Amendments. (Rezoning)**

**A. Intent.** It is the intent of this chapter to provide stability and regularity in the zoning of the property in the Village of Sherwood; nevertheless, to best achieve the full purposes of this chapter, it is likely that from time to time amendments will be necessary in the text or in the district map portions of this chapter to recognize that changing conditions or expectations call for changed plans, and changed plans call for changed regulations. As a result, owners of property subject to particular regulations under this chapter cannot enjoy an eternally vested right to those regulations if the public interest demands otherwise. Among the conditions which may be expected to require zoning changes are:

- (1) Holding districts, which constitute a form of temporary zoning, may require rezoning to other basic or overlay districts as full development becomes imminent.
- (2) Additional state-imposed regulations may require amendments to this chapter to conform to such state mandates.
- (3) Village Plan amendments or refinements may require adjustments in the boundaries of districts or in the form of text regulation in order to reflect the new knowledge added to the plan.
- (4) County and regional plan amendments or refinements may, as in Subsection A(3) preceding, require similar adjustments.
- (5) Property owners' petitions in which owners may propose modifications to the zoning in which they are located in order to better do their part in carrying out the Village Plan and in serving the public interest.

**B. Authority.** Whenever the public necessity, convenience and general welfare require, the Village Board may, by ordinance, as provided for in § 62.23(7)(d)2, Wis. Stats., amend any part of this chapter, including amending the textual regulations, the district regulations, or the reclassifying of property into other districts. Such amendments shall be by petition and be considered as provided for herein.

**C. Initiation.** A petition for change or amendment may be made by any property owner or agent of the owner in the area to be affected by the change or amendment, by the Village Board, or by the Plan Commission.

**D. Filing of petitions.** Petitions for any change to the district boundaries or amendments to the regulations shall be filed with the Village Clerk-Treasurer, together with the fee required in § 22-107H and the following information, where appropriate, on forms supplied by the Village:

- (1) Required information for district map changes.
  - (a) Plot plan or map drawn to scale, or map of legal descriptions, showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of adjacent properties.
  - (b) Owners' names and addresses, as listed on such records as the Village Assessor's maps or Village tax roll, of all properties lying within 100 feet of a proposed district change.<sup>[1]</sup>
  - (c) Additional information as required by the Village Board or Plan Commission on forms available from the Zoning Administrator.
- (2) Required information for text amendments.

- (a) Proposed text amendment language and, if possible, a defense of the necessity for such a change.
- (b) Owners' names and addresses as described in Subsection **D(1)(b)** preceding if it is determined by the Zoning Administrator or by said office in consultation with the Village Attorney that the amendment is sufficiently site specific to consider protest petitions, as provided for in § 62.23(7)(d)2m, Wis. Stats., and Subsection **H** herein.

(c) Additional information as required on forms available from the Zoning Administrator.

**E. Referral and recommendations.**

(1) Referral to Plan Commission. The Zoning Administrator shall check the petition for completeness, conferring with the petitioner as necessary. When the petition appears complete, the Zoning Administrator shall place it upon the Plan Commission agenda, with copies to other Village staff that the Commission is likely to consult on the petition.

(2) Plan Commission review and recommendations. Upon receipt of the petition, the Commission shall conduct the necessary study and investigation in order to provide, as promptly as possible, a recommendation to the Village Board, as set forth in § 66.23(7)(d)1b, Wis. Stats., and § 22-104D(2) of this chapter.

(a) Commission public interest criteria. In making its recommendations, the Commission shall always be guided by a finding that the change or amendment would be in the public interest and not solely for the benefit of the applicant. The public interest shall be found by weighing the following:

- [1] Compliance with the Village Plan adopted by the Commission.
- [2] Compliance with county, regional or other such plans as adopted by the Commission.
- [3] Compliance with the purpose of this chapter as set forth in § 22-3 of this chapter.

(b) Information hearings. In developing its recommendations, the Commission may hold an informational hearing, noticed as it determines in each case.

**F. Official hearing.** The Village Board shall hold a public hearing upon each proposed change or amendment, the Village Clerk-Treasurer giving notice of the time and place of such hearing by:

- (1) Publication of a Class 2 notice under Ch. 985, Wis. Stats.
- (2) Mailed notice to the owners of record on Village tax rolls or Assessor maps of all lands lying within 100 feet of any part of the land involved in either a zoning district change or an ordinance text amendment found to have specific impact upon only a few properties.

(a) Mailed notice postmark. Such mailed notice shall be postmarked at least 10 days prior to the date of hearing. The failure of such notice to reach any property owner, provided that such failure is unintentional, shall not invalidate any amending ordinance or other action taken upon the matter noticed.

**G. Action.**

(1) Village Board. After such public hearing and no later than the second Village Board meeting following receipt of the Plan Commission's recommendations, the Village Board shall act to approve, modify and approve, or disapprove the proposed change or amendment.

(2) Re-referral to Plan Commission.

(a) The Village Board shall not take action without having first heard the recommendations of the Plan Commission. Should the Village Board not concur in the recommendation of the Plan Commission,

including an intent to approve with modifications not contained in the Commission recommendation, the Village Board shall re-refer the matter to the Commission for reconsideration before taking final action, specifying the amount of time available to the Commission for its reconsideration. When the matter so re-referred to the Plan Commission returns to the Village Board, the Village Board shall assume the sole responsibility for disposition of the proposed change or amendment.

**(b)** Once the Village Board has so assumed the sole responsibility for the disposition of the proposed change or amendment, the following action may take place:

**[1]** If the Village Board acts to disapprove, the amendment is defeated.

**[2]** If the Village Board acts to approve, or modify and approve, so approved.

**(3)** Provisional zoning. In connection with its action to modify and approve (or to approve if already so recommended by the Plan Commission), the Village Board may provisionally rezone the property which is the subject of the petition. Any such provisional rezoning shall become permanent, provided that the conditions imposed by the Village Board have been complied with within such period of time as may be designated by the Village Board, but not to exceed three years.

**(a)** Zoning Map notation. For such period of time until the provisions have been met and so certified by the Zoning Administrator, the Official Zoning Map of the Village shall show the property to be zoned "P\* \_\_\_\_\_" (\* for provisional).

**(b)** Waiver of vested interest. By accepting the provisional rezoning, the petitioner is deemed to waive any claim of vested rights in the property during the period of provisional rezoning.

**(c)** Title recording. The Village Board, in its discretion, may cause notice of the provisional rezoning, together with the provisions imposed, to be recorded in the office of the Register of Deeds.

#### **H. Protest.**

**(1)** Filing of protest petition and verification. In the event a protest against a proposed change or amendment is filed under § 62.23(7)(d), Wis. Stats., with the Village Clerk-Treasurer at least 24 hours prior to the time of the meeting of the Village Board at which the recommendation of the Plan Commission is to be considered, appearing to be duly signed and acknowledged by the owners of 20% or more of the area proposed to be altered, or by abutting owners of over 20% of the total perimeter of the area proposed to be altered included within 100 feet of the parcel or parcels proposed to be rezoned, or by the owners of 20% or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land, action on such ordinance may be deferred until the Village Clerk-Treasurer has had a reasonable opportunity to ascertain and report to the Village Board as to the authenticity of such ownership statements.

**(2)** Extra majority required. If such statements are found to be true, such ordinance shall not be adopted except by the affirmative vote of 3/4 of the members of the Village Board present and voting. If such statements are found to be untrue to the extent that the required frontage or area ownership is not present, such protest may be disregarded.

# Zoning and Municipal Code Fees



W482 Clifton Road  
 PO Box 279  
 Sherwood, WI 54169  
 Ph: 920-989-1589

FOR OFFICE USE ONLY	
<input checked="" type="checkbox"/>	Fee Enclosed CK # <u>20160</u>
<input type="checkbox"/>	Complete Application (See Listings)
Date Received: <u>NOV 27 2019</u>	
V. SHERWOOD TREASURER	

Date of Application: 11/27/19

Applicant/Property Owner: DRIVE FORE SUCCESS, LLC AKA High Cliff Public Golf Course, Inc  
 Project Address: WS555 Golf Course Road Sherwood, WI  
Tax ID 13425  
 Phone: 920-989-1045 / Email: dan@highcliffgolfandeventcenter.com

	Type	Description	Cost
<input type="checkbox"/>	Certified Survey Map (Review)	_____	\$ 50
<input type="checkbox"/>	Extra-Territorial CSM (Review)	_____	\$ 75
<input type="checkbox"/>	Rezoning Petition	_____	\$ 350
<input type="checkbox"/>	Variance Request	_____	\$ 350
<input type="checkbox"/>	Conditional Use	_____	\$ 350
<input type="checkbox"/>	Zoning or Municipal Amendment	_____	\$ 350
<input checked="" type="checkbox"/>	PDD / PUD / Subdivision Review	<u>(#13425) <del>Subdivision PUD</del> PUD Application</u>	<u>\$ 350</u>
<input type="checkbox"/>	Site Plan Review	_____	\$ 500
<input type="checkbox"/>	Official Map Amendment	_____	\$ 350
<input type="checkbox"/>	Change in Use (Commercial)	_____	\$ 25

Signature of Property Owner: *Dan Boyal*  
 Printed: 11/27/19

**A. Introduction and purpose.**

(1) Uniform and individual lot regulations. This chapter is predicated upon regulating the land development and use maintenance process primarily on an individual lot or tract basis, with all lots in the same district being subject to regulations which are uniform throughout that district, as prescribed by § 62.23(7)(b), Wis. Stats., in order to achieve the purpose set forth in § 62.23(7)(c), Wis. Stats., and in § 22-3 of this chapter.

(2) Diversified and grouped lot regulations. However, as also provided for in said § 62.23(7)(b), Wis. Stats., with the consent of the landowners, there may be and hereby is established a special district in which the regulations need not be uniform throughout the district, so that there may be permitted development regulations which have the same purpose as § 62.23(7)(c), Wis. Stats., and § 22-3 of this chapter, but which seek to allow regulation on a project basis, possibly involving many lots or tracts or multiple structures, including possibly allowing more than one principal structure per lot, which regulations as set forth in said § 62.23(7)(b), Wis. Stats., will tend to promote over time the maximum benefits of:

- (a) Coordinated area site planning.
- (b) Diversified location of structures.
- (c) Mixed compatible uses.
- (d) Safe and efficient pedestrian and vehicle traffic system.
- (e) Attractive recreation and landscaped open spaces.
- (f) Economic design and location of public and private utilities and community facilities, ensuring adequate standards for construction and planning.

**B. District establishment.**

(1) PUD Planned Unit Development District. The regulations of this section shall operate in conjunction with the application to specific tracts of land of the PUD Planned Unit Development District as established in Article II of this chapter.

(2) Minimum area required. In order to be regulated under this section, proposed project plans must be no less than the following minimum size:

<b>Proposed Principal Uses</b>	<b>Minimum Project Size (square feet)</b>
Residential and open space uses	100,000
Mixed compatible uses	200,000
Commercial or industrial uses	200,000

(3) Ownership consent. As required by § 62.23(7)(b), Wis. Stats., a proposed development at the time of application of the PUD Planned Unit Development District shall require the consent of the owners to the regulations as shall apply to their individual tracts through the approved PUD District project plan.

**C. Uses permitted.**

**(1) Underlying district uses.** All uses as permitted by the underlying district or districts within the boundaries of the overlay PUD District may be permitted in the project plan approved as part of the PUD regulations as stated therein, subject to Subsection C(4) below. Said plan may also provide for excluding uses that are otherwise permitted by the underlying districts, or for follow-up approval of building, site and operational plans as provided for in §22-111 of this chapter.

**(2) Other uses permitted.** In addition to Subsection C(1) preceding, any other use permitted by this chapter may be permitted as part of the project plan approved as part of the PUD regulations, consistent with the approval criteria set forth in Subsection E hereunder.

**(3) Individual uses and structures need not necessarily comply with the specific building location, height, building size, floor area ratio, lot size or open space requirements of the underlying district, provided that benefits as set forth in § 62.23(7)(b), Wis. Stats., and Subsection A(2) of this section justify deviation from said requirements.**

**(4) Conditional use processing.** Uses permitted in an underlying district or elsewhere in this chapter by conditional use grant, if not permitted by right in one of the underlying districts, shall only be permitted through the PUD regulations as a conditional use. The petition, application materials, and hearing for said conditional uses may be part of the PUD process to avoid dual processing, unless the PUD plan specifically determines that the conditional uses are to be separately evaluated and processed.

**D. Procedure.**

**(1) Pre-petition conference.** Prior to official submittal of a petition, the petitioner shall meet with the Plan Commission for a preliminary discussion as to the scope and proposed nature of the contemplated development, especially as relates to the petitioner's intentions to submit a general or detailed application.

**(2) Petition.** Following the pre-petition conference, petition may be made to the Zoning Administrator by the owners or agents of properties proposed for such development to amend the Zoning Map by the overlaying of a PUD District in order to permit the application of the provisions of this section to such development. Such petition shall be accompanied by a fee as required in § 22-107H and the following information in appropriate detail as to the type of approval, general or detailed, desired (see determination in Subsection F):

**(a) A statement describing the general character of the intended development and the desirability of applying the requirements of this section and the PUD District rather than those ordinarily applicable through basic underlying zoning. This statement should at least include:**

**[1] Statistical data on total size of the project area, area of open space, residential density computation and proposed number of dwelling units, population analysis, market analysis, economic analysis, impact upon municipal services and any other similar data pertinent to a comprehensive evaluation of the proposed development.**

**[2] A financial factors general summary, including the value of structures, estimated improvement costs, amount proposed for landscaping and special features, estimated sale or rental price, and total anticipated development cost of the project.**

[3] Organizational and service structure general outline related to intended property owners' association, deed restrictions, and provision of private services.

(b) A general development plan and related maps and plans, including descriptive statements of objectives, principles and standards used in its formulation of the project, showing at least the following information as may be required by the Plan Commission and Village Board to apply the criteria for approval as hereinafter set forth:

[1] An accurate map of the project area, including its relationship to surrounding properties.

[2] The pattern of public and private roads, driveways, and parking facilities and intended design standards.

[3] The size, arrangement and location of lots or of proposed building groups.

[4] The location of recreational and natural open space areas and areas reserved or dedicated for public uses such as school, park, nature preserve, etc.

[5] The type, size and location of structures.

[6] General landscape treatment.

[7] Architectural drawings and sketches or photos of similar developments illustrating the design and character of proposed structures.

[8] The location of present and proposed sanitary sewer and other utility facilities if necessary to an evaluation of the project plan.

[9] Existing topography and storm drainage pattern and proposed storm drainage system showing basic topography changes, if deemed necessary for project evaluation.

(3) Referral to Plan Commission. Such petition shall be referred to the Plan Commission and processed as a zoning change. Upon completion of necessary study and investigation, the Plan Commission shall make its recommendation to the Village Board as to the appropriateness and desirability of the application of the PUD District as relates to the suitability of the building, site and development plans and any additional conditions which the Commission may feel necessary or appropriate.

(4) Public hearing. The Plan Commission, before taking affirmative action to approve such petition, shall hold a public hearing pursuant to statutory provisions for zoning amendments. Notice for such hearing shall include reference to the consideration of the proposed project development plans coincident with the requested zoning change to PUD.

E. Basis for approval. The Plan Commission, in making its recommendations, and the Village Board, in making its determination, shall give consideration and satisfy themselves as to the following:

(1) Construction schedule. That the proponents of the proposed development have demonstrated that they intend to start construction within a reasonable period following the approval of the project and requested overlay for the PUD District, and that the development will be carried out according to a reasonable construction schedule satisfactory to the Village.

(2) Adequate professional assistance. That the project plan has been prepared with adequate professional assistance, especially as relates to justifying deviation from standards as set forth in the

underlying basic zoning districts or from other development standards such as for streets and utilities, and to achieving Subsection E(3) and (4) below.

(3) Conformity to Village Plan. That the project plan serves to implement the spirit and intent of the Village Plan, especially as relates to preservation of conservation areas and creation of common open spaces, and to creation of a more diversified and interesting use pattern than might otherwise result from application of underlying zoning patterns.

(4) Achievement of purposes and benefits. That the project plan achieves the purpose for zoning as set forth in § 62.23(7)(c), Wis. Stats., and § 22-3 of this chapter, as well as the benefits of planned development projects as set forth in § 62.23(7)(b), Wis. Stats., and Subsection A(2) of this section.

(5) Preservation and care of open space.

(a) That the resultant common open space is suitable for its use as relates to location, access, size and shape, proposed degree of improvement for recreational use, or proposed degree of protection from damage if a natural area.

(b) That adequate guarantee for retention of proposed private open spaces in their proposed uses and against building or other development (except as consistent with the open space objective) shall be accomplished by conveying to the municipality as part of the conditions of approval a land covenant to be approved by the Plan Commission and recorded at the County Register of Deeds office restricting the area as herein required.

(c) That in the case of a private open space proposal, the care and maintenance of such open space shall be ensured either by establishment of an appropriate management organization or property owners' association for the project or by agreement with the municipality for establishment of a special service district for the project area on the basis of which the municipality shall provide the necessary maintenance service and levy the cost thereof as a special assessment on the tax bills of properties within the project area. In any case, the Village shall have the right to carry out and levy an assessment for the cost of any maintenance which it feels necessary if it is not otherwise taken care of to the satisfaction of the Village.

(d) That ownership and tax liability of private open space areas shall be established in a manner acceptable to the municipality and made a part of the conditions of the plan approval.

(e) That adequate financial guarantee that such common open space will be developed or protected as proposed is made by the owners or developers in the form of bonds, sureties, or letters of credit acceptable to the Village pursuant to the procedures used in the building and platting of public streets.

**(6) Proposed residential developments.**

(a) That such development will create an attractive residential environment of sustained desirability and economic stability, including placement of structures in relation to terrain and soils, consideration of safe pedestrian flow, ready access to recreation space, and coordination with overall plans for the neighborhood.

(b) That the population composition of the development will not result in adverse effect from that anticipated in the Village Plan upon the community's capacity to provide needed school or other municipal service facilities.

(c) That adequate guarantee is provided for permanent retention as open area of open land area resulting from the application of these regulations either by dedication to the public or by private reservation as regulated by Subsection E(5) preceding.

(7) Proposed commercial developments. ( N/A ).

(8) Proposed industrial developments. ( N/A ).

(9) Proposed mixed-use developments. ( N/A ).

**F. Determination.**

(1) Denial or approval. The Village Board after due consideration, upon recommendation of the Plan Commission, may deny or approve the petition as submitted or approve the petition subject to changes or additional conditions.

(2) Representations and conditions incorporated. The general or detailed approval of a petition and consequent amending of the Zoning Map by overlay of the PUD District shall be based upon, and thereby incorporate, all the representations contained in the petition and its accompanying written and other exhibits offered by the petitioner, as modified by the Village's part of the review and approval process.

(a) General approval. Plans submitted for such an approval need not necessarily be completely detailed at the time of overlay zoning, provided that they are of sufficient detail to satisfy the Plan Commission and Village Board as to the general character, scope and appearance of the proposed development. Such preliminary plan shall at least designate the pattern of proposed streets and size and arrangement of lots as in the preliminary platting process, which may indeed also be involved, and the basic pattern of land use, with an illustration of a typical example, of the development proposed. The approval of such preliminary plan shall be conditioned upon the subsequent submittal and approval of more specific and detailed plans as the development progresses, so that all detailed approvals are complete before an occupancy permit is required.

(b) Detailed approval. Plans submitted for detailed approval shall be sufficiently complete that the factors normally associated with issuance of a zoning permit under this chapter, such as a developer's agreement or approval of a property division under Chapter 24, Subdivision and Platting, of this Code, are presented. Without prejudice because of enumeration, this can include information related to the following: § 22-110, Conditional uses, § 22-111, Building, site and operational plans, Article X, Performance Standards, and preliminary or final plats under Chapter 24, Subdivision and Platting, of this Code.

(3) Subsequent changes. Proposed changes to approved project plans, judged insubstantial by the Plan Commission, may be approved by the Commission and added to the project file. Proposed changes which the Commission judges to be substantial shall require approval by the Village Board, after review and recommendation by the Commission and after public hearing as set forth in Subsection D(4) preceding.

(4) Project terminations. Approved planned development projects, including those which have begun development under the terms of the approved project plan, may be modified so as to terminate all or some

of the special conditions approved under the plan, in order to return to basic underlying zoning regulations for all or some of the developed or undeveloped portions of the project area.

**(a)** Petition. Where the original project petitioners or their successors are able to initiate a petition, they may file a petition seeking project plan termination, suggesting how area already developed under the project plan may be made conforming to underlying zoning regulations, or how those areas might remain under a reduced area project plan. Where said original petitioners are no longer able to file such a petition, the Plan Commission may act as a petition filer.

**(b)** Hearing and recommendations. When a petition is filed to terminate a project plan in whole or part, the Commission shall hold an informational hearing, notifying all affected parties, so that the Commission may learn what form of project plan termination would best serve the interests of all affected parties. The Commission shall then recommend to the Village Board such project plan modifications or termination as it deems appropriate. The Village Board shall treat said recommendation as a zoning petition and hold the necessary hearing before acting.

**(c)** Determination. In the manner set forth in this subsection preceding, the Village Board shall act upon the petition. The project file and Zoning Map shall be appropriately modified with the changes adopted by the Board, and as necessary any land covenants, plats or other recorded documents amended as required to conform to the revised regulations, with the costs apportioned as directed by the Board.

- § 22-3 Purpose.

This chapter is adopted for the purpose of promoting the health, safety, morals or the general welfare of the community through the comprehensive regulation of land use within the Village

- § 62.23(7)(b)(c), Wis. Stats.

7) Zoning.

**(b) Districts.** For any and all of said purposes the council may divide the city into districts of such number, shape, and area as may be deemed best suited to carry out the purposes of this section; and within such districts it may regulate and restrict the erection, construction, reconstruction, alteration or use of buildings, structures or land. All such regulations shall be uniform for each class or kind of buildings and for the use of land throughout each district, but the regulations in one district may differ from those in other districts. No ordinance enacted or regulation adopted under this subsection may prohibit forestry operations that are in accordance with generally accepted forestry management practices, as defined under s. 823.075 (1) (d). The council may establish mixed-use districts that contain any combination of uses, such as industrial, commercial, public, or residential uses, in a compact urban form. The council may with the consent of the owners establish special districts, to be called planned development districts, with regulations in each, which in addition to those provided in par. (c), will over

a period of time tend to promote the maximum benefit from coordinated area site planning, diversified location of structures and mixed compatible uses. Such regulations shall provide for a safe and efficient system for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and community facilities and insure adequate standards of construction and planning. Such regulations may also provide for the development of the land in such districts with one or more principal structures and related accessory uses, and in planned development districts and mixed-use districts the regulations need not be uniform.

*(c) Purposes in view.* Such regulations shall be made in accordance with a comprehensive plan and designed to lessen congestion in the streets; to secure safety from fire, panic and other dangers; to promote health and the general welfare; to provide adequate light and air, including access to sunlight for solar collectors and to wind for wind energy systems; to encourage the protection of groundwater resources; to prevent the overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and to preserve burial sites, as defined in s. 157.70 (1) (b). Such regulations shall be made with reasonable consideration, among other things, of the character of the district and its peculiar suitability for particular uses, and with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout such city.

C.P.N. #2020-01 (Village)

Comp. Plan Amendment

RE: Gates @ High Cliff  
"IR-1" to "IR-2"  
HOUSING



(Village - ~~inserted~~)

C.P.N. 2020-01

"JOINT REVIEW BOARD"

Form PE-300	TID Annual Report	2019 WI Dept of Revenue
----------------	-------------------	----------------------------

Section 1 - Municipality and TID					
Co-muni code 08179	Municipality SHERWOOD	County CALUMET	Due date July 1, 2020	Report type ORIGINAL	
TID number 001	TID type 1	TID name TID 1	Creation date 09/24/1992	Mandatory termination date 09/24/2019	Expected termination date N/A

Section 2 - Beginning Balance	Amount
TID fund balance at beginning of year	\$0

Section 3 - Revenue	Amount
Tax increment	\$247,859
Investment income	\$1,910
Debt proceeds	
Special assessments	\$16,088
Exempt computer aid	\$1,673
Sale of property	
Allocation from another TID	
Developer guarantees name	
Transfer from other funds source	
Other grants sources	
Other revenue sources	
Total Revenue (deposits)	\$267,530

Annual Meeting of  
 RE: Joint Rev Board  
 Financial Report =  
 "Approved"

*[Signature]*

<b>Form PE-300</b>	<b>TID Annual Report</b>	<b>2019</b> WI Dept of Revenue
------------------------	--------------------------	-----------------------------------

Section 4 - Expenditures	Amount
Capital expenditures	
Administration	
Professional services	\$900
Interest and fiscal charges	
DOR fees	\$150
Discount on long-term debt	
Debt issuance costs	
Principal on long-term debt	
Environmental costs	
Real property assembly costs	
Allocation to another TID	
TID number     003	\$266,480
Developer grants name	
Developer name   NA	\$0
Transfer to other funds source	
Other expenditures source	
<b>Total Expenditures</b>	<b>\$267,530</b>

Section 5 - Ending Balance	Amount
TID fund balance at end of year	\$0
Future costs	\$5,000
Future revenue	\$263,354
Surplus or deficit	\$258,354

Section 6 - Preparer/Contact Information	
Preparer name Bryan Grunewald	Preparer title Principal
Preparer email bryan.grunewald@claconnect.com	Preparer phone (920) 803-3147
Contact name Randy Friday	Contact title Administrator
Contact email administrator@villageofsherwood.org	Contact phone (920) 989-1589

Form PE-300	<b>TID Annual Report</b>	<b>2019</b> WI Dept of Revenue
----------------	--------------------------	-----------------------------------

Section 1 - Municipality and TID					
Co-muni code <b>08179</b>	Municipality <b>SHERWOOD</b>	County <b>CALUMET</b>	Due date <b>July 1, 2020</b>	Report type <b>ORIGINAL</b>	
TID number <b>002</b>	TID type <b>6</b>	TID name <b>TID 2</b>	Creation date <b>09/23/2013</b>	Mandatory termination date <b>09/23/2033</b>	Expected termination date <b>N/A</b>

Section 2 - Beginning Balance	Amount
TID fund balance at beginning of year	\$0

Section 3 - Revenue	Amount
Tax increment	\$32,705
Investment income	\$216
Debt proceeds	
Special assessments	
Exempt computer aid	\$1,124
Sale of property	
Allocation from another TID	
Developer guarantees name	
Transfer from other funds source	
Other grants sources	
Other revenue sources	
<b>Total Revenue (deposits)</b>	<b>\$34,045</b>

Section 4 - Expenditures	Amount
<b>Capital expenditures</b>	
<b>Administration</b>	
<b>Professional services</b>	\$925
<b>Interest and fiscal charges</b>	
<b>DOR fees</b>	\$150
<b>Discount on long-term debt</b>	
<b>Debt issuance costs</b>	
<b>Principal on long-term debt</b>	
<b>Environmental costs</b>	
<b>Real property assembly costs</b>	
<b>Allocation to another TID</b>	
TID number      003	\$32,970
<b>Developer grants name</b>	
Developer name    None	\$0
<b>Transfer to other funds source</b>	
<b>Other expenditures source</b>	
<b>Total Expenditures</b>	<b>\$34,045</b>

Section 5 - Ending Balance	Amount
<b>TID fund balance at end of year</b>	\$0
<b>Future costs</b>	\$16,942,441
<b>Future revenue</b>	\$16,942,441
<b>Surplus or deficit</b>	\$0

Section 6 - Preparer/Contact Information	
Preparer name Bryan Grunewald	Preparer title Principal
Preparer email bryan.grunewald@claconnect.com	Preparer phone (920) 803-3147
Contact name Randy Friday	Contact title Administrator
Contact email administrator@villageofsherwood.org	Contact phone (920) 989-1589

Form PE-300	<b>TID Annual Report</b>	<b>2019</b> WI Dept of Revenue
----------------	--------------------------	-----------------------------------

<b>Section 1 - Municipality and TID</b>					
Co-muni code <b>08179</b>	Municipality <b>SHERWOOD</b>	County <b>CALUMET</b>	Due date <b>July 1, 2020</b>	Report type <b>ORIGINAL</b>	
TID number <b>003</b>	TID type <b>3</b>	TID name <b>TID 3</b>	Creation date <b>09/23/2013</b>	Mandatory termination date <b>09/23/2040</b>	Expected termination date <b>N/A</b>

<b>Section 2 - Beginning Balance</b>	<b>Amount</b>
<b>TID fund balance at beginning of year</b>	<b>\$698,009</b>

<b>Section 3 - Revenue</b>	<b>Amount</b>
<b>Tax increment</b>	<b>\$5,290</b>
<b>Investment income</b>	<b>\$2,944</b>
<b>Debt proceeds</b>	
<b>Special assessments</b>	
<b>Exempt computer aid</b>	<b>\$580</b>
<b>Sale of property</b>	
<b>Allocation from another TID</b>	
TID number     002	\$32,970
TID number     001	\$266,480
<b>Developer guarantees name</b>	
<b>Transfer from other funds source</b>	
<b>Other grants sources</b>	
<b>Other revenue sources</b>	
<b>Total Revenue (deposits)</b>	<b>\$308,264</b>

Form PE-300	<b>TID Annual Report</b>	<b>2019</b> WI Dept of Revenue
----------------	--------------------------	-----------------------------------

Section 4 - Expenditures	Amount
Capital expenditures	\$54,510
Administration	\$37,139
Professional services	\$925
Interest and fiscal charges	\$5,863
DOR fees	\$150
Discount on long-term debt	
Debt issuance costs	
Principal on long-term debt	\$27,591
Environmental costs	
Real property assembly costs	
Allocation to another TID	
Developer grants name	
Developer name N/A	\$0
Transfer to other funds source	
Other expenditures source	
<b>Total Expenditures</b>	<b>\$126,178</b>

Section 5 - Ending Balance	Amount
TID fund balance at end of year	\$880,095
Future costs	\$31,344,664
Future revenue	\$31,344,664
Surplus or deficit	\$880,095

Section 6 - Preparer/Contact Information	
Preparer name Bryan Grunewald	Preparer title Principal
Preparer email bryan.grunewald@claconnect.com	Preparer phone (920) 803-3147
Contact name Randy Friday	Contact title Administrator
Contact email administrator@villageofsherwood.org	Contact phone (920) 989-1589

**Sherwood Plan Commission**  
**Meeting Report**  
**July 6, 2020**

**NOTE: Due to COVID-19 restrictions, residents are not allowed in the Village Hall.**

To **'join'** the meeting at 6:30pm via Webex: Go to the Village home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). The Webex meeting link is located in the upper right-hand side of your computer screen. You may print or save a copy of the complete meeting packet.

Join via telephone (without video): Tel #: 1-408-418-9338. Access Code: 628 186 722# Attendee ID: 51#

1) ACTION ITEMS

- a) CSM #2020-01: Request for creation of (new) Condon Road Right-of-Way for roadway placement (Village of Sherwood) – *Commission recommends VB approval of CSM #2020-01 for creation of (new) Condon Road R.O.W for roadway placement.*
- b) CSM #2020-02: Request to re-create Tax ID #s 13530 (N599 Military Road, et. al.; 41.55ac – predominantly farmland), #13532 (1.32ac – Sherwood Elevator operations); #13524 (0.22ac – Sherwood Elevator operations); #13511 (0.63ac - Sherwood Elevator operations), into Lot #1 (7.813 ac. – Sherwood Elevator operations) and Lot #2 (37.396ac. – all Ag. land) – *Commission recommends VB approval of CSM #2020-02 to re-create Tax ID #s 13530, #13532, #13524 and #13511 into Lot #1 and Lot #2.*
- c) RP #2020-01: Request to rezone Tax ID #13504 (N364 Military Road) from current IR-2 zoning into two parcels; One with existing dwelling (2.0ac.) remains IR-2, the other (9.0ac.) to be rezoned as C-2 (Commercial) for use as future warehouse-type building – *Commission recommends VB approval of RP #2020-01, request to rezone Tax ID #13504 from IR-2 to C-2 for use as future warehouse type building, contingent upon CSM.*

2) INFORMATION ITEMS

- a) Outdoor Entertainment Area (Djupstrom): Request to place 24 X 24 outdoor entertainment space in rear yard – *No action taken. Administrator stated this is a request for a stand-alone structure. He explained, with the size of the planned structure, this would be a major structure and the lot size does not allow for a 2<sup>nd</sup> major structure, the first being the attached garage. Administrator said one option would be to attach the structure to the principle structure as an addition. Another option would be to request a zoning change which would take approximately a year to complete.*
- b) (Discussion) Concept Plan – Sherwood Forest Golf Course redevelopment (Genisot; UP Builders) – *No action taken. Commission reviewed re-purposing plans for the former Sherwood Forest nine-hole golf course.*

Respectfully submitted for review and approval by Kathy Mader, Acting Clerk



# Certified Survey Map

CSM #2020-01

## Requestor Information

Property Owner:

Owner Address of Record:

Benefiting property:

( e.g. subdivision; lot #; parcel # )

Village of Sherwood

Village - Condon Road project (ROW)

Contact information:

( include fax / telephone / e-mail )

(Tel:)

V. Hall

(Fax:)

(E-mail:)

Agent / Surveyor:

Address of Record:

Jacobs Land Surveying (Ford de la Cruz, U.T.)

Contact information:

( include fax / telephone / e-mail )

(Tel:)

920 / 922-2908

(Fax:)

(E-mail:)

## Acknowledgement of Property Owner:

Owner's signature

*[Handwritten Signature]*  
Printed or Typed Name

Printed or Typed Name

07/06/2020

date

Notes:

Request will not be forwarded for Plan Commission and Village Board review without owner's signature. Complete application must have attached map, legal description and application fee (\$50 check)

Staff Use only

Staff Use only

Staff Use only

Date received:

Received by:

Application complete?

Application fee paid? (\$50)

N/A  
yes / no  
yes / no

Plan Commission Review

Village Board Review

Date revw'd by P. Comms'n:

07/06/20

Approve:  (recommendation)

Deny: \_\_\_\_\_

Date reviewed by V. Board:

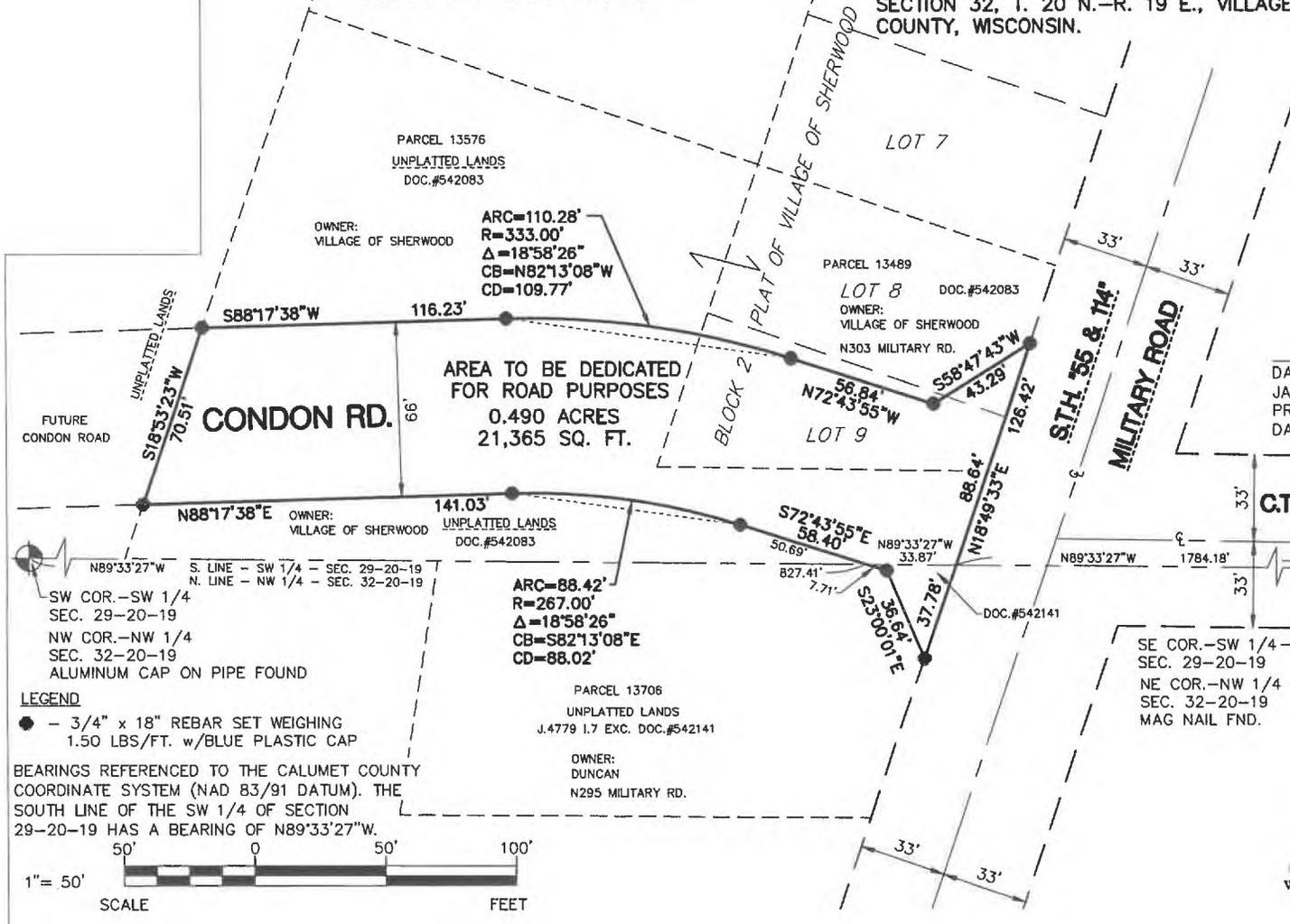
07/13/20

Approved: \_\_\_\_\_

Denied: \_\_\_\_\_

# CERTIFIED SURVEY MAP FOR VILLAGE OF SHERWOOD

PART OF LOTS 8 AND 9 OF BLOCK 2 OF THE PLAT OF THE VILLAGE OF SHERWOOD AND UNPLATTED LANDS LOCATED IN THE SW 1/4 OF THE SW 1/4 OF SECTION 29 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 32, T. 20 N.-R. 19 E., VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.



DAVID H. JACOB, PLS NO. S-2469  
 JACOB LAND SURVEYING, LLC  
 PROJECT NO. 181091  
 DATE: 5/29/2020



N89°33'27"W S. LINE - SW 1/4 - SEC. 29-20-19  
 N. LINE - NW 1/4 - SEC. 32-20-19  
 SW COR. - SW 1/4 SEC. 29-20-19  
 NW COR. - NW 1/4 SEC. 32-20-19  
 ALUMINUM CAP ON PIPE FOUND

**LEGEND**  
 ● - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT. w/BLUE PLASTIC CAP

BEARINGS REFERENCED TO THE CALUMET COUNTY COORDINATE SYSTEM (NAD 83/91 DATUM). THE SOUTH LINE OF THE SW 1/4 OF SECTION 29-20-19 HAS A BEARING OF N89°33'27"W.



ARC=88.42'  
 R=267.00'  
 Δ=18°58'26"  
 CB=S82°13'08"E  
 CD=88.02'

PARCEL 13706  
 UNPLATTED LANDS  
 J.4779 I.7 EXC. DOC.#542141

OWNER:  
 DUNCAN  
 N295 MILITARY RD.

SE COR. - SW 1/4 SEC. 29-20-19  
 NE COR. - NW 1/4 SEC. 32-20-19  
 MAG NAIL FND.



W8057 Randallwood Lane, Fond du Lac, WI 54937  
 phone (920) 922-2908 fax (920) 922-7202

**CERTIFIED SURVEY MAP**

PART OF LOTS 8 AND 9 OF BLOCK 2 OF THE PLAT OF THE VILLAGE OF SHERWOOD AND UNPLATTED LANDS LOCATED IN THE SW 1/4 OF THE SW 1/4 OF SECTION 29 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 32, T. 20 N.-R. 19 E., VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE**

I, David H. Jacob, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey by the direction of Randy Friday, bounded and described as follows:

That part of Lots 8 and 9 of Block 2 of the plat of the Village of Sherwood and unplatted lands located in the Southwest 1/4 of the Southwest 1/4 of Section 29 and the Northwest 1/4 of the Northwest 1/4 of Section 32, T. 20 N.-R. 19 E., Village of Sherwood, Calumet County, Wisconsin described as follows:

Commencing at the Southeast corner of the Southwest 1/4 of said Section 29; thence North 89°-33'-27" West along the South line of the Southwest 1/4 of said Section 29, 1784.18 feet to the Westerly right-of-way line of State Highway 55 & 114 (Military Road) and to the point of beginning; thence North 18°-49'-33" East along said right-of-way line, 88.64 feet; thence South 58°-47'-43" West, 43.29 feet; thence North 72°-43'-55" West, 56.84 feet; thence on a curve to the left, having a radius of 333.00 feet, 110.28 feet along curve to a point which is North 82°-13'-08" West, 109.77 feet from last described point; thence South 88°-17'-38" West, 116.23 feet to the Westerly line of lands recorded in Document Number 542083, Calumet County Register of Deeds Office; thence South 18°-53'-23" West along said Westerly line, 70.51 feet; thence North 88°-17'-38" East, 141.03 feet; thence on a curve to the right, having a radius of 267.00 feet, 88.42 feet along curve to a point which is South 82°-13'-08" East, 88.02 feet from last described point; thence South 72°-43'-55" East, 58.40 feet to the Southwesterly line of lands recorded in Document Number 542141, Calumet County Register of Deeds Office; thence South 23°-00'-01" East along said line, 36.64 feet to the Southerly corner of said lands, being on the Westerly right-of-way line of State Highway 55 & 114 (Military Road); thence North 18°-49'-33" East along said right-of-way line, 37.78 feet to the point of beginning and containing 0.490 acres (21,365 sq. ft.) of land, more or less and subject to all easements and restrictions of record.

That such is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Sherwood in surveying, dividing, and mapping the same.



David H. Jacob P.L.S. No. S-2469

Jacob Land Surveying, LLC.  
Fond du Lac, Wisconsin 54937

Project Number: 181091

SHEET 2 OF 3 SHEETS

**CERTIFIED SURVEY MAP**

PART OF LOTS 8 AND 9 OF BLOCK 2 OF THE PLAT OF THE VILLAGE OF SHERWOOD AND UNPLATTED LANDS LOCATED IN THE SW 1/4 OF THE SW 1/4 OF SECTION 29 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 32, T. 20 N.-R. 19 E., VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.

**AUTHORIZATION CERTIFICATE**

I hereby certify that I have been authorized under the direction of Randy Friday of the Village of Sherwood, W482 Clifton Road, Sherwood, Wisconsin, 54169 to survey, map and describe the property as shown on this certified survey map. Said survey was made on May 29<sup>th</sup>, 2020.

**COUNTY TREASURER CERTIFICATE**

I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this minor subdivision as of this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Treasurer, Calumet County

**VILLAGE TREASURER CERTIFICATE**

I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this minor subdivision as of this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Village of Sherwood Treasurer

**VILLAGE PLANNING COMMISSION APPROVAL**

Resolved by the Village Planning Commission of the Village of Sherwood, that the above certified survey map of Condon Road is hereby approved.

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Date

**VILLAGE BOARD APPROVAL**

Resolved by the Village board of the Village of Sherwood, that the above certified survey map of Condon Road is hereby approved.

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Date

\_\_\_\_\_  
Clerk

\_\_\_\_\_  
Date

**RECORDING DATA**

Filed this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ m in

Volume \_\_\_\_\_ of Certified Survey Maps, on Page \_\_\_\_\_, being Calumet County Certified Survey

Map Number \_\_\_\_\_.

\_\_\_\_\_  
Register of Deeds



SHEET 3 OF 3 SHEETS



Certified Survey Map  
CSM #2020-02

**Requestor Information**

**Property Owner:**  
**Owner Address of Record:**  
**Benefiting property:**  
( e.g. subdivision; lot #; parcel # )

KRESS FARM SUPPLY INC  
N599 MILITARY RD SHERWOOD WI 54169  
Kair Kress Kurt Kress Klay Kress

**Contact information:**  
( include fax / telephone / e-mail )

(Tel:) 920-209-3203 (Fax:)  
(E-mail:) SHERWOOD ELEVATOR@TDS.NET

**Agent / Surveyor:**  
**ADD**

CRAIG LUCY - CRL LAND SURVEYING

**Address of Record:**

N1674 MEDINA DR GREENVILLE, WI 54942

**Contact information:**  
( include fax / telephone / e-mail )

(Tel:) 920-428-2133 (Fax:)  
(E-mail:)

**Acknowledgement of Property Owner:**

Kurt Kress  
Owner's signature

Kurt Kress  
Printed or Typed Name

6-24-2020  
date

**Notes:** Request will not be forwarded for Plan Commission and Village Board review without owner's signature. Complete application must have attached map, legal description and application fee (\$75 check - made payable to "Village of Sherwood").

**Staff Use only**

Date received:  
Received by:

6/24/20  
Klu

**Staff Use only**

Application complete?  
Application fee paid? (\$75)

**Staff Use only**

Y  
\$50 (Sherwood)

**Plan Commission Review**

Date revw'd by P. Comms'n:  
Date reviewed by V. Board:

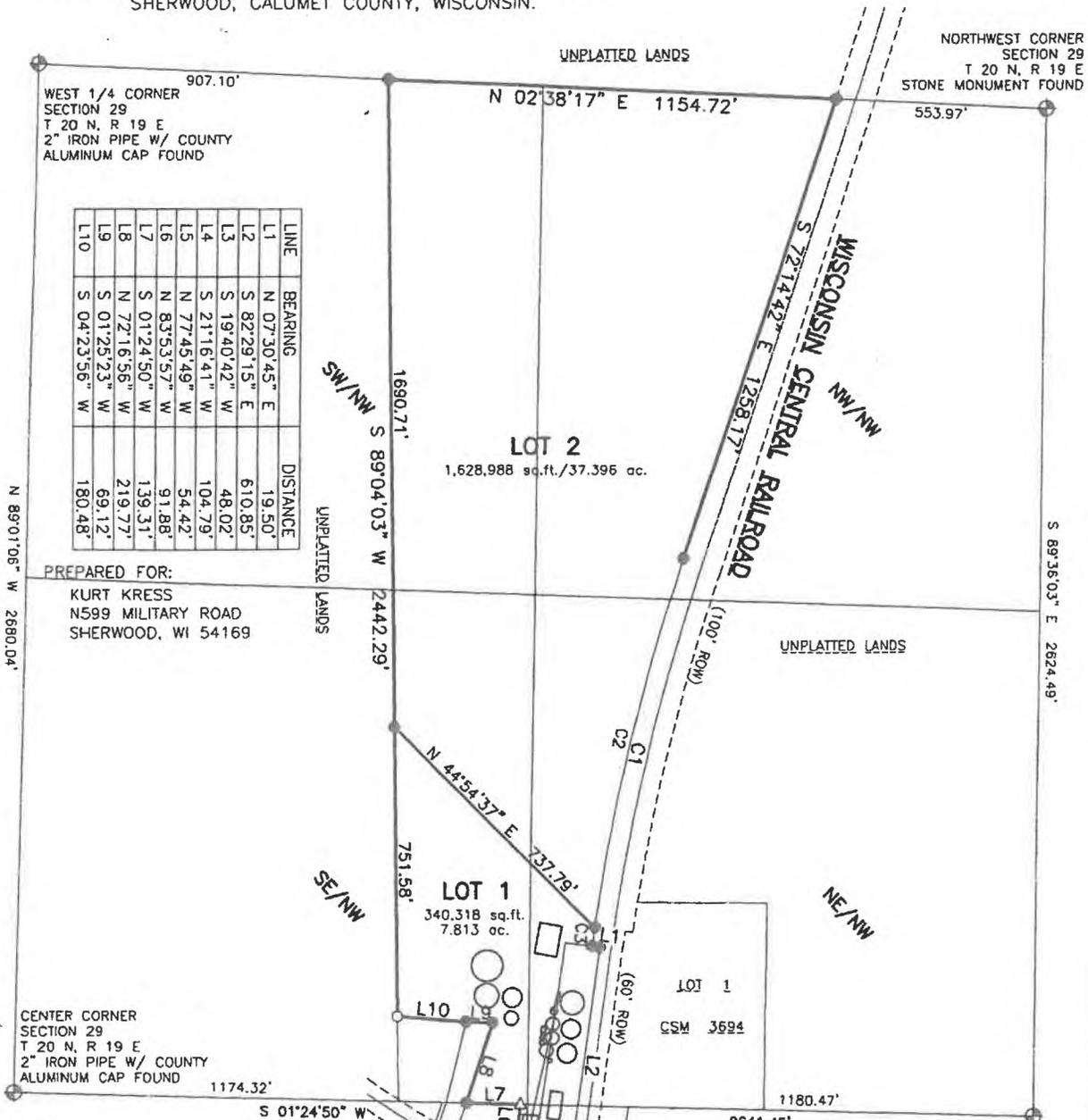
07/06/2020  
07/13/2020

**Village Board Review**

Approve:  (recommendation) Deny: \_\_\_\_\_  
Approved: \_\_\_\_\_ Denied:

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF TRACT 1 AND PART OF TRACT 2 OF CERTIFIED SURVEY MAP 358 AND PART OF THE NE 1/4 OF THE NW 1/4 AND PART OF THE SE 1/4 OF THE NW 1/4 AND PART OF THE SW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NE 1/4 AND PART OF THE SW 1/4 OF THE NE 1/4, ALL OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.



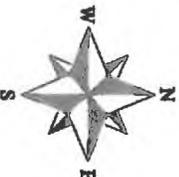
LINE	BEARING	DISTANCE
L1	N 07°30'45" E	19.50'
L2	S 82°29'15" E	610.85'
L3	S 19°40'42" W	48.02'
L4	S 21°16'41" W	104.79'
L5	N 77°45'49" W	54.42'
L6	N 83°53'57" W	91.88'
L7	S 01°24'50" W	139.31'
L8	N 72°16'56" W	219.77'
L9	S 01°25'23" W	69.12'
L10	S 04°23'56" W	180.48'

PREPARED FOR:  
KURT KRESS  
N599 MILITARY ROAD  
SHERWOOD, WI 54169

### LEGEND

- ◆ SECTION CORNER
- 3/4" x 24" STEEL REBAR SET WEIGHING 1.502 LBS./LIN. FT.
- 3/4" REBAR FOUND
- ⊠ 1" IRON PIPE FOUND
- △ P.K. NAIL FOUND
- ( ) RECORDED AS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	5779.19'	1035.99'	1034.61'	S 77°21'07" E	10°16'16"
C2	5779.19'	986.01'	984.81'	S 77°06'15" E	09°46'32"
C3	5779.19'	49.99'	49.99'	S 82°14'23" E	00°29'44"



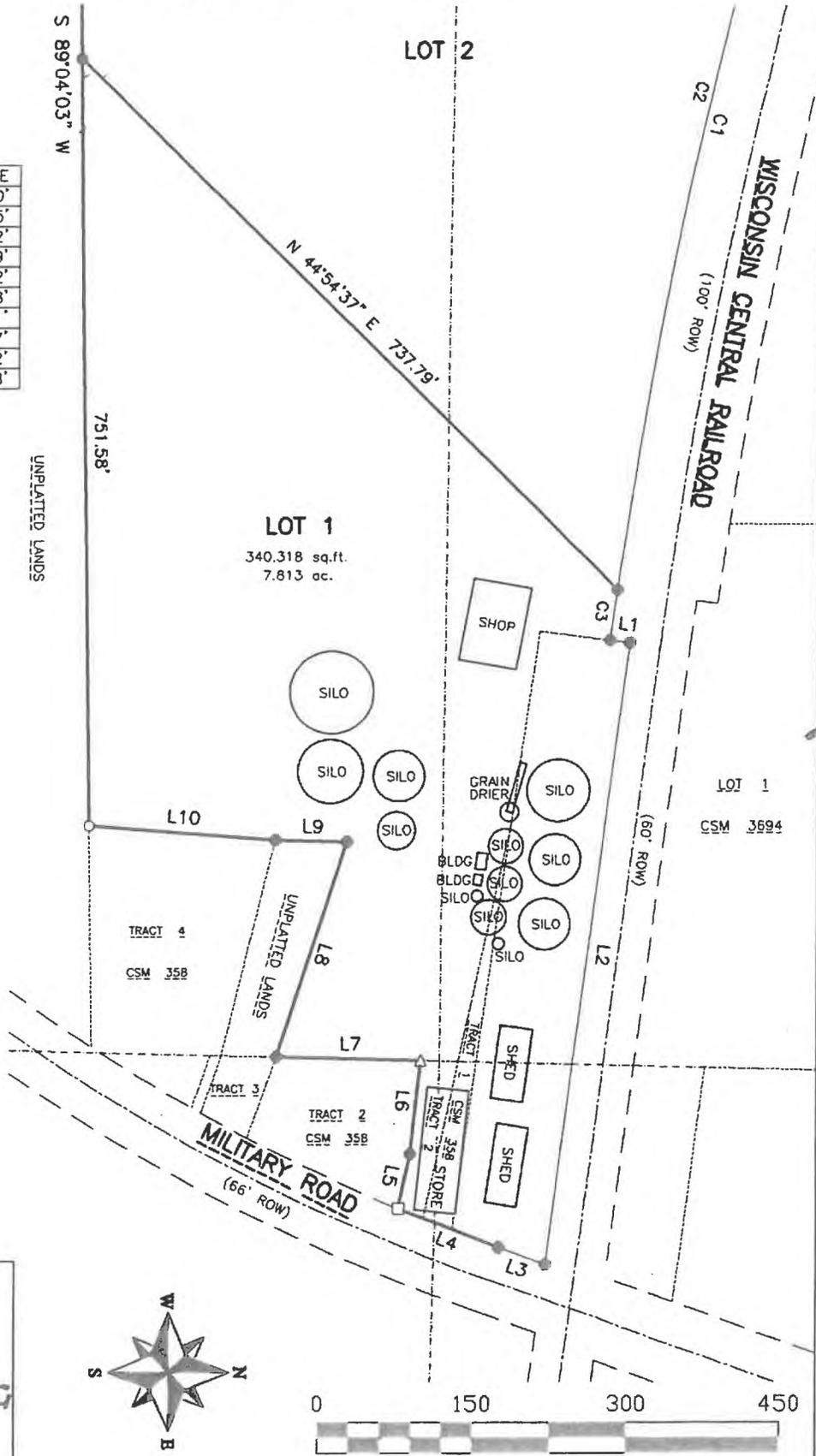
NORTH IS REFERENCED TO THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN WHICH BEARS N 02°38'17" E PER THE CALUMET COUNTY COORDINATE SYSTEM.

920.422.2829

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF TRACT 1 AND PART OF TRACT 2 OF CERTIFIED SURVEY MAP 358 AND PART OF THE NE 1/4 OF THE NW 1/4 AND PART OF THE SE 1/4 OF THE NW 1/4 AND PART OF THE SW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NE 1/4 AND PART OF THE SW 1/4 OF THE NE 1/4, ALL OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.

LINE	BEARING	DISTANCE
L1	N 07°30'45" E	19.50'
L2	S 82°29'15" E	610.85'
L3	S 19°40'42" W	48.02'
L4	S 21°16'41" W	104.79'
L5	N 77°45'49" W	54.42'
L6	N 83°53'57" W	91.88'
L7	S 01°24'50" W	139.31'
L8	N 72°16'56" W	219.77'
L9	S 01°25'23" W	69.12'
L10	S 04°23'56" W	180.48'

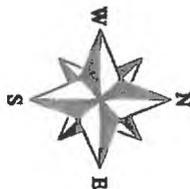


## LEGEND

- ◆ SECTION CORNER
- 3/4" x 24" STEEL REBAR SET WEIGHING 1.502 LBS./LIN. FT.
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- △ P.K. NAIL FOUND
- ◁ ▷ RECORDED AS



920.422.2829



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF TRACT 1 AND PART OF TRACT 2 OF CERTIFIED SURVEY MAP 358 AND PART OF THE NE 1/4 OF THE NW 1/4 AND PART OF THE SE 1/4 OF THE NW 1/4 AND PART OF THE SW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NW 1/4 AND PART OF THE NE 1/4 AND PART OF THE SW 1/4 OF THE NE 1/4, ALL OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE:

I, CRAIG LOCY, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED AT THE DIRECTION OF KURT KRESS, ALL OF TRACT 1 AND PART OF TRACT 2 OF CERTIFIED SURVEY MAP 358 RECORDED IN THE OFFICE OF THE CALUMET COUNTY REGISTER OF DEEDS IN VOLUME 2 OF CERTIFIED SURVEY MAPS ON PAGE 263 AS DOCUMENT NUMBER 135042 AND PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 AND PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4, ALL OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST; THENCE ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 29, SOUTH 02 DEGREES 38 MINUTES 19 SECONDS WEST, 553.97 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF WISCONSIN CENTRAL RAILROAD, SOUTH 72 DEGREES 14 MINUTES 42 SECONDS EAST, 1258.17 FEET; THENCE CONTINUING ALONG THE SOUTH RIGHT-OF-WAY LINE OF WISCONSIN CENTRAL RAILROAD, 1035.99 FEET ALONG AN ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 5779.19 FEET WITH A CHORD OF 1034.61 FEET THAT BEARS SOUTH 77 DEGREES 21 MINUTES 07 SECONDS EAST; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 07 DEGREES 30 MINUTES 45 SECONDS EAST, 19.50 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 82 DEGREES 29 MINUTES 15 SECONDS EAST, 610.85 FEET; THENCE ALONG THE WEST RIGHT-OF-WAY OF C.T.H. "M" (A.K.A. MILITARY ROAD), SOUTH 19 DEGREES 40 MINUTES 42 SECONDS WEST, 46.02 FEET; THENCE CONTINUING ALONG THE WEST RIGHT-OF-WAY LINE OF SAID C.T.H. "M" (A.K.A. MILITARY ROAD), SOUTH 21 DEGREES 16 MINUTES 41 SECONDS WEST, 104.79 FEET; THENCE NORTH 77 DEGREES 45 MINUTES 49 SECONDS WEST, 54.42 FEET; THENCE NORTH 83 DEGREES 53 MINUTES 57 SECONDS WEST, 91.88 FEET; THENCE ALONG THE WEST LINE OF TRACT 2 OF CERTIFIED SURVEY MAP 358 RECORDED IN THE OFFICE OF THE CALUMET COUNTY REGISTER OF DEEDS IN VOLUME 2 OF CERTIFIED SURVEY MAPS ON PAGE 263 AS DOCUMENT NUMBER 135042, SOUTH 01 DEGREE 24 MINUTES 50 SECONDS WEST, 139.91 FEET; THENCE NORTH 72 DEGREES 24 MINUTES 56 SECONDS WEST, 219.77 FEET; THENCE SOUTH 01 DEGREE 25 MINUTES 23 SECONDS WEST, 69.12 FEET; THENCE ALONG THE WEST LINE OF TRACT 4 OF SAID CERTIFIED SURVEY MAP 358, SOUTH 04 DEGREES 23 MINUTES 56 SECONDS WEST, 180.48 FEET; THENCE SOUTH 89 DEGREES 04 MINUTES 03 SECONDS WEST, 2442.29 FEET; THENCE ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 29, NORTH 02 DEGREES 38 MINUTES 17 SECONDS EAST, 1154.72 FEET TO THE POINT OF THE BEGINNING, CONTAINING 1,969,306 SQUARE FEET [45.209 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

I FURTHER CERTIFY THAT THE WITHIN MAP IS A TRUE AND CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION OF THE LAND AND THAT I HAVE FULLY COMPLIED WITH 236.34 OF WISCONSIN STATE STATUTES AND THE VILLAGE OF SHERWOOD SUBDIVISION AND PLATTING REGULATIONS IN SURVEYING AND MAPPING OF THE SAME.

DATED THE 11th DAY OF MAY, 2020.

-----  
CRAIG LOCY #2940  
CRL SURVEYING, LLC.  
N1674 MEDINA DRIVE  
GREENVILLE, WI 54942



920.422.2829

## NOTES:

1. THIS CSM IS ALL OF TAX PARCEL NUMBER'S: 13524, 13532 AND 13530.
2. THE PROPERTY OWNER'S OF RECORD ARE: KRESS REAL ESTATE, LLC AND KLAIR A. KRESS, ETAL (P) AND KURT KRESS (TC).
3. THIS CSM IS WHOLLY CONTAINED WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENTS: DOCUMENT NUMBER 390162 AND JACKET 5971 IMAGE 35.

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF TRACT 1 AND PART OF TRACT 2 OF CERTIFIED SURVEY MAP 358 AND PART OF THE NE 1/4 OF THE NW 1/4 AND PART OF THE SE 1/4 OF THE NW 1/4 AND PART OF THE SW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NE 1/4 AND PART OF THE SW 1/4 OF THE NE 1/4, ALL OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.

VILLAGE PLANNING CERTIFICATE:

RESOLVED THAT THIS CERTIFIED SURVEY MAP IN THE VILLAGE OF SHERWOOD WAS APPROVED BY THE VILLAGE PLANNING COMMISSION ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
CHAIRPERSON

VILLAGE BOARD CERTIFICATE:

RESOLVED THAT THIS CERTIFIED SURVEY MAP IN THE VILLAGE OF SHERWOOD WAS APPROVED BY THE VILLAGE BOARD ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
VILLAGE PRESIDENT

\_\_\_\_\_  
VILLAGE CLERK

VILLAGE TREASURERS CERTIFICATE:

I, HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AFFECTING THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

SIGNED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
TREASURER, VILLAGE OF SHERWOOD

COUNTY TREASURERS CERTIFICATE:

I, HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AFFECTING THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

SIGNED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
TREASURER, CALUMET COUNTY



920.422.2829

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF TRACT 1 AND PART OF TRACT 2 OF CERTIFIED SURVEY MAP 358 AND PART OF THE NE 1/4 OF THE NW 1/4 AND PART OF THE SE 1/4 OF THE NW 1/4 AND PART OF THE SW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NW 1/4 AND PART OF THE NW 1/4 OF THE NE 1/4 AND PART OF THE SW 1/4 OF THE NE 1/4, ALL OF SECTION 29, TOWNSHIP 20 NORTH, RANGE 19 EAST, VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN.

## OWNER'S CERTIFICATE:

AS OWNERS, WE HEREBY CERTIFY THAT WE CAUSED THE LAND ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF SHERWOOD, WI.

\_\_\_\_\_  
KLAIR A. KRESS

\_\_\_\_\_  
KURT KRESS

STATE OF WISCONSIN)  
                                  SS  
CALUMET COUNTY)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 THE ABOVE NAMED PERSONS KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGE THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

## OWNERS CERTIFICATE:

AS REPRESENTATIVES OF KRESS REAL ESTATE, LLC., WE HEREBY CERTIFY THAT WE CAUSED THE LAND ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF SHERWOOD, WI.

\_\_\_\_\_  
REPRESENTATIVE (PRINT NAME)

\_\_\_\_\_  
REPRESENTATIVE (PRINT NAME)

\_\_\_\_\_  
REPRESENTATIVE (SIGNATURE)

\_\_\_\_\_  
REPRESENTATIVE (SIGNATURE)

STATE OF WISCONSIN)  
                                  SS  
CALUMET COUNTY)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020 THE ABOVE NAMED PERSONS KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGE THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_



920.422.2829

MAY 11, 2020

SHEET 5 OF 5

20-386

# Request For Zoning Amendment

Plan Commission  
Sherwood, Wisconsin

Amendment Request No. # 2020-01  
Date: 06-22-2020

Date set for hearing: \_\_\_\_\_

(Do not write in this space--For office use only)

Notice published on: \_\_\_\_\_

Fee Paid--Receipt No. # 350.<sup>00</sup>

Newspaper: \_\_\_\_\_

Amount \$ \_\_\_\_\_ Date: \_\_\_\_\_

Recommendation of Plan Commission

Action by Village Board

Denied

Denied

Approved

Approved

Approved with Modification

Approved with Modification

Date: \_\_\_\_\_

Ordinance No. \_\_\_\_\_  
Date: \_\_\_\_\_

Instructions to Applicants: To request a change in either the zoning map or text, this application for a zoning amendment must be completed and a public hearing held. If the applicant is requesting that his property be rezoned, a site plan must be included with the application showing the information listed below. Normally there are only two primary reasons for a change in zoning: (1) the original zoning was in error; (2) the character of the area has changed to such an extent as to warrant rezoning. The burden of providing substantiating evidence rests with the applicant.

A notice of the hearing must be published in a newspaper of general circulation in the local area as a class 1 notice before the hearing and the publication cost must be paid by the applicant prior to the hearing. The applicant will be notified by mail of the time and place of the hearing at least ten (10) days prior to the hearing date. The applicant or his attorney or duly-authorized agent must appear at the hearing and present his case to the Plan Commission. All information requested below must be provided before a hearing will be scheduled. Applicants are encouraged to visit the Office of the Code Administrator for any assistance needed in completing this application.

1. Name of Applicant(s): John West Phone: (906) 458-3345  
Address: (Street) N 504 North Logan Ct. (City) Sherwood (Zip) 54169

2. Property Interest of applicant:  
 Owner  Contract Purchaser  Lessee  Other: \_\_\_\_\_

3. Name of Owner(s)  
(If other than applicant): \_\_\_\_\_ Phone: \_\_\_\_\_  
(Attach additional sheets if necessary)

4. An amendment to the Zoning Ordinance is requested as follows:  
A.  Amendment to Text:  
It is requested that Section \_\_\_\_\_ of the Zoning Ordinance be amended as follows: \_\_\_\_\_

Reason for Amendment: \_\_\_\_\_  
\_\_\_\_\_

B.  Amendment to Map:  
It is requested that the property described below and shown on the attached site plan be rezoned from parcel #13504, except 2 acres in NW corner w/ current house → TR2 to C-2:  
Address of property: (Street) N 634 Military Rd. (City) Sherwood (Zip) 54169  
Legal description of property (lot, block and subdivision or metes and bounds; attach additional sheets if necessary):

Tray parcel #13504 - see attached form from Calumet County  
Present use of property: open land except for site of small rented residence  
Proposed use of property: building for stored vehicles w/ attached workshop  
Reason for amendment: current zoning does NOT allow for the size of the desired building (5,800 ft<sup>2</sup>).

5. Names of Adjacent Property Owners:  
Following are the names of owners of all property within 100 feet of the subject property, including those directly across the street, and present use of their property:

Name	Address	Present Use
- Angela & Christopher Boehnlein	- N 634 Military Rd., Sherwood WI 54169	- residential
- Penny & Scott Frajer	- N 5703 Hwy 57, Hilbert WI 54129	- agriculture
- Richard & Valery Davis	- N 9049 Harwood, Menasha WI 54952	- agriculture
- William Probst	- N 619 Military Rd., Sherwood WI 54169	- residential
- Frances Smet	- W 4121 Kester Rd., Hilbert WI 54129	- agriculture

6. I certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and accurate. I consent to the entry in or upon the premises described in this application by any authorized official of the Village of Sherwood for the purpose of inspecting or of posting, maintaining and removing such notices as may be required by law.

Date: JUNE 22, 2020  
Date: \_\_\_\_\_

Applicant: John R. West  
Owner(s) \_\_\_\_\_

### SITE PLAN

- A site plan must be attached or drawn below at a scale large enough for clarity showing the following information:
- Location and dimensions of: Lot, buildings, driveways, and off-street parking spaces.
  - Distance between: Buildings and front, side, and rear lot lines; Principal building and accessory buildings; Principal building and principal buildings on adjacent lots.
  - Location of: Signs, easements, underground utilities, septic tanks, tile fields, water wells, etc.
  - Any additional information as may reasonably be required by the Zoning Administrator and applicable Sections of the Zoning Ordinance.

RECEIVED

JUN 24 2020

V. SHERWOOD TREASURER

Randy Friday,

Attached is my application for a zoning change on parcel #13504 to be put before the Planning Commission July 6, 2020. I will be in Sherwood before July 1 and will check in with you about this. If you need to contact me before that, my phone is (906) 458-3345. Thanks.

John R. West



## Randy Friday

---

**From:** Randy Friday  
**Sent:** Sunday, May 17, 2020 3:59 PM  
**To:** Brian P. Glaeser  
**Subject:** RE: CTH Access Request - Sherwood ( John West inquiry ).

Hello Brian,

As you state below, John West is currently in the process of requesting a CSM for his parcel(s) in question to have it changed into something ( C-2; 'Commercial ) I believe will fit his desire to build a large building to house and work on 'collector vehicles'. My understanding is he may also rent out space w/in the building for others to work on their vehicles and/or store a few on premises, as he intends to move his vehicles currently located on his property in the U.P.

John has been at the Plan Commission several times inquiring what he can do to place an approx. 60x40 building for such purposes. I believe the P.C. and he have come to at least a verbal understanding that this would be permissible in this area, as you state below, it is in a designated 'growth area' on our very outskirts of the community, and there is basically one of everything in that area – supper club, golf club, single-family housing, multi-family housing, the Sherwood Elevator business, our Yard Waste site, Agri. land, etc...

To date, I do not have a CSM in had to take to the P.C. for ultimate review. But, I expect it shortly. That could be as quickly as early-June, depending on Jim Mayer's work.

My short answer is that if/when he provides that CSM and a Rezoning Application, if/when OK'd by the P.C. and Village Board, then 'Yes', the Village would be in support of his request. My feeling is the boards will be sympathetic to someone trying to upgrade currently vacant land toward something more business-oriented, as is called for in our *Comprehensive Plan*.

Regards,

Randy Friday  
Village Administrator

Village of Sherwood  
W482 Clifton Road  
Sherwood, WI 54169

Tel: 920/989-1589  
Fax: 920/989-4084  
[www.villageofsherwood.org](http://www.villageofsherwood.org)

**\*\*\*Confidentiality Notice\*\*\***

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**From:** Brian P. Glaeser [mailto:Brian.Glaeser@calumetcounty.org]  
**Sent:** Tuesday, May 12, 2020 3:29 PM  
**To:** Randy Friday <administrator@villageofsherwood.org>  
**Subject:** FW: CTH Access Request

Randy,

I took a call yesterday from a John West as he is inquiring about the lot on CTH M north of the Village of Sherwood in the village limits. He is asking for an access about 200' north of the railroad tracks on the east side of the road. According to our access ordinance it does not meet our demands, but because it is in the village limits, I am willing to waive our requirements since it is in your growth area. I just want to reach out to you to find out what your thoughts are on this. I actually put a call into him today, but apparently his voice mailbox is full, so I have no way of knowing when I will be able to talk to him again. I know Jim Mayer is the land surveyor for the party. Your thoughts!

Thanks,

**Brian P. Glaeser**  
Highway Commissioner  
Highway Department



241 E. Chestnut St | Chilton, WI 53014  
Phone (920) 849-1463 | Toll-Free (833) 620-2730  
Fax (920) 849-1405 | [www.calumetcounty.org](http://www.calumetcounty.org)

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**Brian P. Glaeser**  
Highway Commissioner  
Highway Department



241 E. Chestnut St | Chilton, WI 53014  
Phone (920) 849-1463 | Toll-Free (833) 620-2730  
Fax (920) 849-1405 | [www.calumetcounty.org](http://www.calumetcounty.org)

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Hello, I'm Tony Genisot of N583 Robinhood Way here in Sherwood. I'm here to present a development that will benefit the Village in terms of tax base and recreation.

As you know, late last summer the Sherwood Golf Club entered bankruptcy which led to foreclosure of the property. While many hoped another buyer would enter and re-open the facility as a golf course, and despite it going to auction twice, it did not sell. (I did bid at the first auction but stepped out when another buyer indicated his sincere desire to run the course as a family business. He subsequently backed out the deal via the court system.) In the meantime, the holding bank auctioned off as much as possible, including greens equipment and interior clubhouse infrastructure. Thus, viability as a course, or even a reasonable bar/restaurant was severely curtailed and no longer made economic sense.

SHERWOOD FOREST GOLF VILLAGE – PRELIMINARY PLAN  
JULY 2020

After the second auction with no bidders the bank contacted me. By that time, based on the physical state of the greens and cart paths it was clearly visible that it was no longer feasible as a golf course. I've lived on Robinhood Way for over 20 years now and I have a vested interest in Sherwood Forest and the Village. As such, I have a plan to develop the property that is financially positive for me, the Village and will still retain green space for my neighbors.

As Roger Cass and the CDA know, I have been actively searching for land to develop as senior housing for 3 years (the newly released report for senior housing bears out the need in Sherwood). My plan allows for restrictive housing (55 plus). Phases for this development include senior housing, high value single family homes, sale of adjacent green space to existing property owners were feasible, and maintenance of some trails. As for the former Clubhouse, are looking for a business that would be a destination such as a winery or brewery.

The Zoning for this property is IR-2 which supports our plan.

SHERWOOD FOREST GOLF VILLAGE – PRELIMINARY PLAN  
JULY 2020

We can make this work. Past success includes the purchase, renovation, and lease to Palenque Mexican Restaurant in the Castle Square building. We've also taken a long vacant parcel within the Sherwood Forest subdivision and put a high dollar property onto the tax rolls.

As long-term residents who have built thirteen homes in Sherwood (three within Sherwood Forest) over the course of twenty years, we are sensitive to the residents of the subdivision we call home. Our intent is to develop the property with the least impact possible while still creating positive value.

Development plans and renderings are presently being worked on.

At this point I am asking the Planning board for any input you may have on this plan.

Thank you.

Tony Genisot

INTERNAL

# Sherwood Forest Village

Re-purposing plan for the former Sherwood Forest nine hole golf course

# Club House and Parking Lot



Club House and Parking Lot area

INTERNAL



# Hole 3 Plan

INTERNAL

Hole # 3 – Planned  
Development / Lot extensions



# Hole 6 Plan Development



Hole 6 – Large Single lots for high value homes

INTERNAL



# Hole 7 Development Plan



Area of single-family age restrictive housing

INTERNAL



7/09/2020 4:33 PM

In Progress Checks - Full Report - ALL  
ALL Checks by Payee  
STATE BANK OF CHILTON - CHECKING ACCOUNT

Page: 1  
ACCT

Dated From: From Account:  
Thru: Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<hr/>			
	7/14/2020	AIT - APPLETON INFORMATION TECHNOLOGIES, LLC	
	INV 26202, 26703		
100-00-51420-220-000		ELECTRONIC COMMUNICATION MAY 1 - MAY 26 LABOR/SET UP FOR VIRTUAL	5,400.97
100-00-57100-810-000		GENERAL GOVERNMENT CAP. EQUIP (9) APPLE IPAD TABLET, DROP CASES	3,689.82
			<b>Total</b>
			<b>9,090.79</b>
<hr/>			
	7/14/2020	AQUATIC BIOLOGISTS, INC	
	INV 272400		
100-00-53440-230-001		MUSTANG POND-SERVICES MUSTANG POND-ALGAE TREATMENT	1,405.00
100-00-53440-230-002		STATE PARK EST PONDS-SERVICES STATE PARK ESTATES NORTH POND-ALGAE TREA	619.38
100-00-53440-230-002		STATE PARK EST PONDS-SERVICES STATE PARK ESTATES SOUTH POND-ALGAE TREA	1,151.63
			<b>Total</b>
			<b>3,176.01</b>
<hr/>			
	7/14/2020	FERGUSON WATERWORKS	
	INV 0301949		
600-00-53700-640-100		SMALL TOOLS/EQUIPMENT HL5000-C-GM LEAK LOCATOR	4,000.00
600-00-53700-650-400		MAIN & LATERALS-MAINTENANCE 6X12 SS REP CLMP, LF CORP KEY	310.23
600-00-53700-650-200		HYDRANT-MAINTENANCE CREDIT - PACER PUM CAP GSKTS	-296.00
			<b>Total</b>
			<b>4,014.23</b>
<hr/>			
	7/14/2020	GILLESPIE, ROBERT OR BONITA	
	REIMBURSE	HOME DEPOT	
100-00-55300-340-000		REC. PROG/EVENTS: OPER SUPPLIE REIMBURSE FOR FLOWER BEDS	47.00
			<b>Total</b>
			<b>47.00</b>
<hr/>			
	7/14/2020	HAWKINS, INC	
	INV 4736735		
600-00-53700-630-000		CHEMICALS FREIGHT CHARGE	10.00

7/09/2020 4:33 PM

In Progress Checks - Full Report - ALL  
ALL Checks by Payee  
STATE BANK OF CHILTON - CHECKING ACCOUNT

Page: 2  
ACCT

Dated From: From Account:  
Thru: Thru Account:

Voucher Nbr	Check Date	Payee	Amount
600-00-53700-630-000		CHEMICALS	410.67
		CLEARITAS	
600-00-53700-630-000		CHEMICALS	0.00
		LPC-132	
Total			420.67

7/14/2020 J & E CONSTRUCTION CO, INC.  
INV 2020-2490, 2020-2511, 2020-2561

610-00-53700-650-900		SITE MAINTENANCE & REPAIR	1,482.11
		3" CLEAR STONES AROUND WWTF POND	
Total			1,482.11

7/14/2020 KAATS WATER CONDITIONING INC  
7/1/2020 STATEMENT

610-00-53700-640-200		WWTF SUPPLIES	10.05
		COOLER RENTAL	
Total			10.05

7/14/2020 LISOWE OIL  
INV 22908, 22907

100-00-53201-341-000		VEHICLE GAS/PETROLEUM	229.18
		ULS#2 DIESEL	
100-00-53201-341-000		VEHICLE GAS/PETROLEUM	44.09
		STATE DIESEL TAX	
100-00-53201-341-000		VEHICLE GAS/PETROLEUM	307.89
		87OCT NO LEAD	
100-00-53201-341-000		VEHICLE GAS/PETROLEUM	50.99
		STATE GAS TAX	
Total			632.15

7/14/2020 NETT LAWN MOWING & LANDSCAPING, LLC  
INV 9580

600-00-53700-650-400		MAIN & LATERALS-MAINTENANCE	1,081.00
		RESTORATION/LAWN REPAIRS	
Total			1,081.00

7/14/2020 SHERWIN WILLIAMS  
INV 8180-5

100-00-56000-350-004		POST OFFICE - MAINT SUPPLIES	114.95
		PAINT	

7/09/2020 4:33 PM

In Progress Checks - Full Report - ALL  
ALL Checks by Payee  
STATE BANK OF CHILTON - CHECKING ACCOUNT

Page: 3  
ACCT

Dated From: From Account:  
Thru: Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-55100-350-000		VILL HALL: MAINT/REPAIR SUPP REC CENTER PAINT	160.93
100-00-51600-350-000		COMM CNTR: MAINT/REPAIR SUPP PAINT	114.95
100-00-55200-350-000		PARKS: MAINTENANCE SUPPLIES PAINT	183.92
Total			574.75

7/14/2020 UNEMPLOYMENT INSURANCE (BENEFITS)  
6/1-6/13/20 & 6/14-6/20/20

100-00-55300-150-000		REC.PROG:UNEMPLOYMENT BENEFIT CHARGES	475.00
Total			475.00

7/14/2020 WI DEPT OF REVENUE - BTR  
TAX PERIOD END DATE 7/31/2022

100-00-51420-310-000		ADMIN OFFICE SUPPLIES & EXPENS BUSINESS REGISTRATION RENEWAL FEE	10.00
Total			10.00

Grand Total 21,013.76

7/09/2020 4:33 PM

In Progress Checks - Full Report - ALL  
ALL Checks by Payee  
STATE BANK OF CHILTON - CHECKING ACCOUNT

Page: 4  
ACCT

Dated From: From Account:  
Thru: Thru Account:

	Amount
Total Expenditure from Fund # 100 - GENERAL FUND	14,005.70
Total Expenditure from Fund # 600 - WATER FUND	5,515.90
Total Expenditure from Fund # 610 - SEWER FUND	1,492.16
Total Expenditure from all Funds	21,013.76

Operator's License

**The Granary Restaurant**

(The people listed below have a previous Operator's License from the Village)

Kevin Eggert

**\*\*\*Malorie Dragoo – was issued a previous Operator's License on July 29<sup>th</sup>, 2019 since then she was cited for Furnishing Alcohol to Minors by the Sheriff's Office in November 2019 while she was working at the Granary. During alcohol compliance checks throughout the county, Malorie served beer to an underage person.**

## Randy Friday

---

**From:** Luke M <lukem.apraz@gmail.com>  
**Sent:** Tuesday, July 07, 2020 7:55 AM  
**To:** Clerk Treasurer; Randy Friday  
**Subject:** Re: OPEN BOOK/BOARD OF REVIEW

**Follow Up Flag:** FollowUp  
**Flag Status:** Flagged

Hi Kathy,

I am looking at holding OB on August 20th from 1-7PM. Board of Review, I was thinking September 16th or 17th from 4-6PM.

Thanks!

On Wed, Jul 1, 2020 at 2:57 PM Clerk Treasurer <[clerk-treasurer@villageofsherwood.org](mailto:clerk-treasurer@villageofsherwood.org)> wrote:

Good Afternoon Luke,

One of the Village Trustees called the Administrator, Randy Friday, and inquired as to when we will be scheduling the Board of Review.

I understand with Covid there have been delays.

Is there an update that we can share with the Village Board?

Kristy will schedule the boardroom when the open book and/or BOR will take place.

Thanks-

Kathy Mader  
Office of the Clerk-Treasurer  
Village of Sherwood  
920.989.1589

--

**Luke T. Mack**  
Project Manager  
Associated Appraisal Consultants, Inc.  
Phone: 920-749-1995  
Fax: 920-731-4158  
[lukem.apraz@gmail.com](mailto:lukem.apraz@gmail.com)  
For Property Search: [www.apraz.com](http://www.apraz.com)

This message is intended for the sole use of the individual and entity to which it is addressed, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended addressee, nor authorized to receive for the intended addressee, you are hereby notified that you may not use,



# Incident Report Form

**Statement of Purpose:** This form serves as written documentation between Village Employee(s) and/or its Contractor(s) and the Village Administrator regarding non-typical occurrences of 'special significance' involving the Village's material assets, such as water and sewer main breaks, vehicle accidents, building damage, etc. It may be reproduced for distribution, such as to aid an insurance investigation, or inform the Village Board or Utility Commission.

Please be complete and concise with your remarks when describing the event(s) that occurred. Sign & date the report, and forward to the Administrator within 48 hours of occurrence.

Incident (provide brief description): WMB (Service Saddle Rotted off) N7709 Pigeon Rd.

Department: Water Incident Date: 2-Jun, 2020

Employee: Bruce, Lucas Incident Time: 6:10 a.m.

Were other Village personnel or contractors involved: Yes (if 'Yes', who?) Don Heiptas and Sons

Describe the incident & your involvement, including times (use additional paper as necessary):

Received a call from a resident around 6:10 a.m. She said there was water coming out of the ground on Pigeon Rd, just a little north of Fox Lane. Then also received a call from Calumet County Sherriff, and then a call from Randy.

Arrived on site, shut down the water to see if leak stops, (it did) then turned water back on a little to keep pressure to residents. Called in Locates, hung door hangers, set up cones, and get clamps. Heiptas was called, showed up on site.

The Main line was 6" plastic (white) No tracer wire.  
The leak ended up being a rotted away service saddle.  
New 6x12x1"cc was added, a new corp., a small piece of Poly and a 1"inch coupler completd the repair.

Estimated water loss = 80,000 gallons

Employee: Bruce Genskow  
Submit date: 6/12/2020

Administrator:   
Receipt date: 6/30/2020

RE: Administrator's Report - Concluding establishment of Escrow Account in Van's Contract for Pond View Estates.

**ESCROW ACCOUNT AGREEMENT**

This Agreement is made on June 23, 2020 between COMMUNITY FIRST CREDIT UNION, referred to as "Lender," VAN'S REALTY & CONSTRUCTION OF APPLETON, INC., a Wisconsin corporation referred to as "Borrower," and VILLAGE OF SHERWOOD, a Wisconsin municipality located in Calumet County, Wisconsin, referred to as "Municipality."

**RECITALS**

Pursuant to a Development Agreement between Borrower and Municipality dated June 23, 2020 a copy of which is incorporated herein and attached hereto as "Exhibit A," Borrower is required to establish an escrow account for the benefit of the Municipality and in the name of the Municipality equal to One Hundred Twenty Percent (120%) of the estimated costs of curb and gutter and final street pavement for all streets. Such escrow account shall be in the name of the Municipality and used for subsequent installment of such improvements by the Municipality using the escrow account funds.

Lender has agreed to certain terms and conditions to provide such escrow funds at the request and expense of Borrower. Borrower has executed and delivered to Lender a Promissory Note payable to the order of Lender (the "Note") and any documents requested by Lender to secure said escrow funds.

Borrower has requested and Lender agrees to furnish an escrow account in the amount of \$262,851.70, based on the estimated cost of said improvements which are as follows:

EXHIBIT 3 COST ESTIMATE - FINAL STREET PAVEMENT POND VIEW ESTATES, VILLAGE OF SHERWOOD 7/9/2019			
ITEM	QUANTITY	UNIT PRICE	TOTAL
FINAL STREET PAVEMENT			
1 L.F. 24" CURB & GUTTER	4300	\$18.00	\$77,400.00
2 S.Y. HMA PAVEMENT - BINDER 1.75"	7905	\$6.50	\$51,382.50
3 S.Y. HMA PAVEMENT - SURFACE 1.75"	7905	\$6.50	\$51,382.50
4 EACH ADJUST MANHOLE & INLET	31	\$400.00	\$12,400.00
5 EACH SUPPLY & INSTALL CHIMNEY SEAL	8	\$400.00	\$3,200.00
6 LUMP SUM TRAFFIC CONTROL	1	\$2,000.00	\$2,000.00
7 S.Y. RESTONE ROAD CURB	2400	\$5.90	\$14,160.00
FINAL STREET PAVEMENT SUBTOTAL			\$204,925.00
CONSTRUCTION TOTAL			\$204,925.00
VILLAGE ENGINEERING & ADMINISTRATION			\$57,926.70
PROJECT TOTAL			\$262,851.70

IN CONSIDERATION of the matters described above, the mutual covenants contained in this document, and other good and valuable consideration, the receipt and sufficiency of which are acknowledged here, Lender, Borrower and Municipality agree as follows:

**SECTION ONE  
CONSTRUCTION OF PUBLIC IMPROVEMENTS**

Municipality agrees to assume responsibility for the installation and the construction of the public improvements specifically required of it as described in the Development Agreement.

**SECTION TWO  
FUNDS HELD IN ESCROW**

Lender agrees to hold the amount of \$282,851.70 in escrow in accordance with the terms of this Agreement.

**SECTION THREE  
INDEMNIFICATION OF LENDER**

Borrower ~~and Municipality~~, agreed to indemnify and hold Lender harmless from all claims, actions, causes of action, judgments, damages, injuries, losses, liability, costs and expenses, including, but not limited to, attorney fees, expenses and court costs arising out of or in any way resulting from the installation and construction of the public improvements.

**SECTION FOUR  
DISBURSEMENT OF ESCROW FUNDS**

Lender shall disburse amounts to Municipality upon request for completion of each public improvement required of Municipality. Lender shall notify Municipality and Borrower of each disbursement not less than 48 hours prior to such disbursement. Municipality shall provide lien waivers from each contractor involved in such public improvement.

In the event that Municipality certifies in writing that: (i) it has completed installation of all curb and gutter and final street pavement for all streets; and (ii) there is a positive balance of funds in the escrow account, the remaining balance of escrow funds (if any) shall be delivered to Borrower.

**SECTION FIVE  
TERMINATION OF THIS AGREEMENT**

Unless extended by the parties, this Agreement shall terminate on the earlier of: (i) ~~December 31, 2024~~; or (ii) the completion of all public improvements required of Municipality, payment of all costs related to such public improvements from the escrow funds, and delivery of the remaining balance thereafter to Borrower (if any), this Agreement shall terminate and Lender, Borrower and Municipality shall have no further rights, duties or obligations hereunder, except as may be provided under the Development Agreement.

*Agreed  
Thomas Wroblewski;  
attorney in fact  
for Vanis 7/6/2020*

*June 23, 2023*

**SECTION SIX  
DUTIES OF LENDER**

During the term of this Agreement, Lender shall hold and disburse the escrow funds in accordance with the terms and conditions of this Agreement.

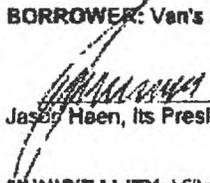
Lender, Borrower and Municipality agree that Lender assumes no liability in connection with this Agreement except for gross negligence or willful misconduct, that Lender shall never be responsible of the validity, correctness, or genuineness of any document or notice referred to under this Agreement and that Lender may seek advice from its own counsel and shall be fully protected in any action taken by it in good faith in accordance with the opinion of its counsel. In the event a dispute develops between any parties with respect to this Agreement, Lender shall have the right to pay the escrow funds into a court of competent jurisdiction and interplead Borrower and Municipality, and the Lender shall be discharged of any further obligation in connection with this Agreement.

**SECTION SEVEN  
BINDING EFFECT**

This Agreement shall benefit and bind the parties and their successors, legal representatives, and assigns.

IN WITNESS WHEREOF, the Parties have executed this Escrow Agreement as of June 23, 2020

**BORROWER:** Van's Realty & Construction of Appleton, Inc.

  
Jason Haen, its President, authorized agent

# 7/6/2020

see p 2 updates

Attorney in fact

**MUNICIPALITY:** Village of Sherwood

by   
its Village Administrator

(07/07/2020)

**ESCROW AGENT:** Community First Credit Union

by   
its VP-Sr Commercial Lender

**Sherwood Plan Commission Meeting Minutes**  
**Special Meeting**  
**May 18, 2020**

NOTE: Due to COVID-19 restrictions, residents are not allowed in the Village Hall but may 'join' the meeting at 6:30pm via WebEx meeting home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). On the upper right-hand side of your computer screen you will see the link to join the WebEx meeting. You may also print or save a copy of the complete meeting packet.

- 1) Call to Order/Roll Call – *Chairman Summers called the meeting to order at 6:30 p.m. with roll call:*

	<b>Present</b>	<b>Absent</b>
	<i>Jean DeKeyser (virtual)</i>	<i>None</i>
	<i>Bob Gillespie</i>	<b>Others Present</b>
	<i>Joyce Laux</i>	<i>Randy Friday, Administrator</i>
	<i>Kathy Salo (virtual)</i>	<i>Kathy Mader, Acting Clerk</i>
	<i>Brad Schmidt</i>	<i>Craig Hamilton, AIT</i>
	<i>Scott Sheppard (virtual)</i>	
	<i>Steve Summers</i>	

- 2) Pledge of Allegiance – *Recited*
- 3) Approval of the Agenda – *Schmidt moved to approve the agenda. Laux seconded. Motion carried unanimously.*
- 4) Approval of Minutes: March 2 – *Gillespie moved to approve the March 2, 2020 meeting minutes. Schmidt seconded. Motion carried unanimously.*
- 5) Citizen comments on agenda items
- *Bob Anderson (virtual) N7829 S Niagara Ct Re: 7 c – 7 f*  
*Anderson believes the High Cliff Golf Course proposed development will be a high density develop and suggests the Village consider revising the high-density policy. He also inquired whether or not the Village engineer checked the traffic issues as suggested by the Plan Commission at the March meeting? Would it be gated as suggested by Corey Feller, HCGC? He requests the PC to take these concerns into consideration before moving forward.*
  - *Lucia Moburg (virtual) W4864 Forest Lane Re: 7 c – 7 f*  
*Moburg opined the preservation of Sherwood as it is today is to care for the future generations of Sherwood. She questioned why progress needs to be development rather than the preservation of the existing.*
  - *Craig Booher (virtual) W4897 Golf Course Rd Re: 7 c – 7 f*  
*Booher expressed concern regarding the traffic at the intersection of Golf Course Road and Palisades Trail. He requests the Plan Commission to not approve the development.*

- *Roland Smoot (virtual) N7779 Spurline Ct Re: 7 c – 7 f  
Smoot stated he had a direct conversation with Dan Rippl, High Cliff Golf Course, and understands the reason HCGC needs to build the development is because they bought the High Cliff Restaurant and, now, they need revenue.*

6) Officer's Report

- a. Plan Commission – Chair – *Summers thanked Sheppard for chairing the March 2 meeting and stated the Open Burning results and Fire Pit Regulations discussion will be moved to the June agenda.*

*Summers reminded everyone in attendance (in-person and via virtual) the Plan Commission is a recommending body. Therefore, the final discussion to approve or deny will occur at the Village Board level.*

- b. Zoning Administrator – *Friday said the permitting season is very busy and, in the near future, there might be discussion regarding the current versus future use of Sherwood Forest Golf Course property.*

7) Old Business:

- a. Open Burning: Survey results (Salo; June).
- b. Fire Pit regulation: Ordinance review (Summers; June).

**NOTE: For prior information regarding items 7c thru 7f., refer to March 2. New information, only, included in May 18 paper copy packet.**

- c. RP #2019-01: (Note: Public Hearing conducted March 2) A rezoning petition (Drive Fore Success, LLC) to rezone parcel #13425 (18<sup>th</sup> Hole) from IR-1 to IR-2 zoning district. – *Salo moved and Laux seconded to recommend Village Board approval of RP #2019-01, rezoning parcel #13425 from IR-1 to IR-2, contingent upon the Village Board negating or dissolving the 2010 Developer's Agreement. Unanimous approval.*

*Schmidt requested clarification of Village Zoning Code district standards for IR-2 district; inquired of High Cliff Golf Course representatives and their engineers what part of the IR-2 standards will the development not be able to meet if they are requesting the PUD.*

*Gary Zahringer (virtual), Martenson & Eisele, responding to Schmidt, stated the front yard setbacks are 17' versus 30' required in IR-2; the closer-to-the-private-drive front yard setbacks allow larger backyards that will abut Golf Course Road residences. Zahringer explained a normal public street is 66 feet wide road-right-of-way. While this private development drive area width is considerably smaller since it is a private drive.*

*Sheppard stated the High Cliff Golf Course is a private entity not a public entity such as the High Cliff State Park, therefore, their financial situation is not an issue for the Plan Commission.*

*Gillespie requested clarification of the motion. Salo explained, since the TID 1 is closed, to consider approval or denial of this item, the agreement should be negated or dissolved.*

*Salo questioned Dan Rippl (virtual), High Cliff Golf Course, if they would consider a lower density development, for example 10 buildings with 20 units. Rippl responded it would not be fiscally prudent for the needed revenue.*

- d. PUD #2019-02: (Note: Public Hearing conducted March 2) Consider a Planned Unit Development (22 buildings as 44 duplex units) based on RP #2019-01 (Drive Fore Success, LLC) allowing development of duplex units on current 18<sup>th</sup> Hole of HCGC (11.3 acres) – ***Gillespie moved to recommend the Village Board approve PUD #2019-02 conditional upon completion of the WDNR wetland delineation study. Laux seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Nay, Schmidt – Nay, Sheppard – Nay, Summers – Aye. Vote 4-3 to deny.***
  - e. CPA #2020-01: (Note: Public Hearing conducted March 2) A Comprehensive Plan Amendment in concert with RP #2019-01 and/or PUD #2019-02 regarding the land use of High Cliff Golf Course Hole #18 (Parcel #13425; Drive Force Success, LLC); Maps 8-3 (Land Use) and 8-4 (Future Land Use) – ***Sheppard moved to recommend the Village Board approve CPA #2020-01, Comprehensive Plan Amendment in concert with RP #2019-01, regarding the land use of High Cliff Golf Course Hole #18, Parcel #13425; Maps 8-3 (Land Use) and 8-4 (Future Land Use). Gillespie seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Aye, Sheppard – Aye, Summers – Aye. Vote 6-1 to approve.***
  - f. Concept Plan: (Tabled from Dec, 2019) Consider updated High Cliff Golf Course (Drive Fore Success, LLC) proposed development on 18<sup>th</sup> hole (Parcel #13425) – ***Gillespie moved to recommend Village Board approval of the updated Concept Plan for the High Cliff Golf Course proposed development on the 18<sup>th</sup> hole, Parcel #13425. Laux seconded. DeKeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Nay, Sheppard – Aye, Summers – Aye. Vote 5-2 to approve.***
- 8) New Business:
- a. Area Development Plan (ADP # 2020-01): Consider development proposal (Parcel #13697; 10.2acres; Schulz, Burzynski). Note: Previous plan reviewed in 1997 for development as Sherwood Forest 2<sup>nd</sup> Addition. Only one lot approved, via CSM, for construction of a single-family home (Schultz) – *In consensus, the Plan Commission suggested Burzynski continue discussions with a civil engineer to ensure the utilities on the ADP are placed in such a way as to not impact possible future lot(s) development.*

- 9) Correspondences:
- a. (Per P.C. request) Legal Review of 2010 ‘Redevelopment Agreement’ between Village and High Cliff Golf Course, Inc. (Town Counsel Law & Litigation, LLC; March 25) – Reviewed.
  - b. Consideration for guidelines regarding ‘Open Burning’ [post-Survey] (Kosiorek; March 29) – Reviewed.
  - c. Condon Road project: T-33 aircraft/Veteran’s Memorial location (American Legion Post #496; May 7) – Reviewed.
  - d. HCGC Agenda business items (see above): ‘Comments regarding The Cottages project’, ‘Responses to Citizen Letter’, ‘A Letter from the CEO’ (HCGC – Dan Rippl; May 14) – Reviewed.
- 10) Adjourn – *Schmidt moved to adjourn at 8:48 p.m. Laux seconded. Motion carried unanimously.*

Respectfully submitted for review and approval by Kathy Mader, Acting Clerk





# Sherwood Plan Commission Meeting Notice and Agenda

Aug. 5, 2019 – 6:30 p.m.

Village Hall – W482 Clifton Road, Sherwood, Wisconsin

- 1) Call to Order/Roll Call.
- 2) Pledge of Allegiance.
- 3) Approval of the Agenda.
- 4) Approval of Minutes: June 3 (Regular Meeting).
- 5) Citizen comments on agenda items.
- 6) Officer's Report
  - a. Plan Commission – Chair.
  - b. Zoning Administrator.
- 7) Old Business:
  - a. *Calendar*: Review of annual Comprehensive Plan obligations (May and Dec.).
  - b. Zoning Code updates: Ad Hoc Committee input.
- 8) New Business:
  - a. *Concept Plan Review*: 'The Cottages at High Cliff' as proposed Planned Unit Development (PUD).
- 9) Correspondences:
  - a. *Proposed project*: Cottages at High Cliff (Dan & Karin Christ; July 25).
  - b. *Open fires in yard*: Problem with neighbor's fire (DeCoursin; Aug. 1).
- 10) Adjourn.

Welcome to the Village of Sherwood Plan Commission Meeting

To assist the Commission in conducting its business, we ask that you observe the following:

1. Please speak only to items on the agenda.
2. Please limit your presentation to three (3) minutes.
3. Please do not address the Commissioners during deliberations unless requested to do so.
4. Any item listed on the Agenda may be acted upon by the Commission.
5. Requests from persons w/ disabilities who need assistance to participate should be made to the Clerk's Office (989-1589).
6. A quorum of Village Board members and a quorum of Utility Commission members may be present at this meeting. Their presence is for informational purposes only, and no business or action of the Village Board or Utility Commission will be transacted.

## **Sherwood Plan Commission Meeting Minutes**

**Aug. 5, 2019**

- 1) **Call to Order/Roll Call:** Chairman Steve Summers called the meeting to order at 6:30 pm. Roll call was completed, the record indicates Commissioners present included Scott Sheppard, Joyce Laux, Bob Gillespie, Brad Schmidt, Kathy Salo, and Jean DeKeyser. Also in attendance was Administrator Randy Friday and Clerk/Treasurer Jo Ann Lesser. There were seven audience members.
- 2) **Pledge of Allegiance:** All those present stood to recite the Pledge of Allegiance.
- 3) **Approval of the Agenda:** Commissioner Salo made a motion to approve the agenda. Commissioner Sheppard seconded the motion. Motion carried, 7-0.
- 4) **Approval of Minutes: June 3 (Regular Meeting):** Commissioner Salo made a motion to approve the agenda. Commissioner Laux seconded the motion. Motion carried, 7-0.
- 5) **Citizen comments on agenda items:** Dale DeCoursin of N505 Royal Court commented on an issue of open burning next door to his property. DeCoursin stated he was gone for a few days and when he came home his arborvitaes were scorched. DeCoursin stated his neighbor has a very nice burn pit but it was not used in this instance. DeCoursin would like to see more rules or regulations on open burning within the village. He also stated that because the village does not have any regulations there is nothing he can do other than take the matter through the civil process.

The Commissioners thanked Mr. DeCoursin for his time and information.

- 6) **Officer's Report**
  - a. **Plan Commission – Chair:** Chairman Summers informed the commission that member Bob Gillespie has been appointed to the Park Recreation Urban Tree (PRUT) committee as the liaison of the Plan Commission.
  - b. **Zoning Administrator:** Administrator Friday stated that there is plenty of work.
- 7) **Old Business:**
  - a. **Calendar:** Review of annual Comprehensive Plan obligations (May and Dec.): None
  - b. **Zoning Code updates: Ad Hoc Committee input:** Chairman Summers went through the areas that the Ad Hoc committee looked at and made recommendations. Grass cutting and leaf pick-up were suggested to be included in Chapter 7-10 for MS4 enforcement. Under the driveway location there was a recommendation to allow the driveway opening at the property line up to 26 feet wide. Renewable energy-Commissioner Sheppard made a motion to include outdoor wood burning in agricultural zoning on property 1 acre or larger. Commissioner Laux seconded the motion. After a showing of hands, the motion failed 2-5. The Commissioner's discussed parking on the street, limiting it to 72 hours and requiring the vehicle to be removed from the area in order to reset the clock, this was in residential areas. There was some concern as to how to address this in commercial areas. It as determined that more discussion and thought was needed to on this subject. It was noted that a definition of motor vehicle was needed to help determine the rules. Commissioner Sheppard made a motion to postpone this item to the next meeting. Commissioner Schmidt seconded the motion. Motion carried, 7-0.

Burning regulations: it has been determined that open burning within the village will be banned beginning January 1, 2020. This does not include recreational burning in a fire pit or grill. Commissioner Sheppard motions to exempt agricultural property of 5 acres or more from the regulation of open burning by permit only. There was no second of the motion because of the discussion that took place, the second was presumed. Chairman Summers called for a raising of hands for the vote. The motion failed, 2-5.

Fencing regulations would remain as they are.

Cell Towers: This would remain regulated by Federal and State laws, there isn't much for municipalities to do.

Exterior lighting: Commissioner Schmidt made a motion to postpone this item.

Commissioner Sheppard seconded. This item needs further research. Motion carried, 7-0.

8) New Business:

- a. *Concept Plan Review*: 'The Cottages at High Cliff' as proposed Planned Unit Development (PUD): Administrator Friday referred to the letter received from the President and CEO of High Cliff Golf Course, Dan Ripple. The letter explains their plan of building a community development for 55 and older on the 18<sup>th</sup> hole of the course. It also talks about design flaws of the 18<sup>th</sup> hole and what changes will be made to correct the problems. Dan Ripple was present to discuss the concept plan with the plan commission. Ripple stated that the golf course industry is declining and he feels this development will help his operation. The 55 and over facilities will have zero clearance entries, it will have a private road, snow, grass, and garbage removal will be included in the association fees as well as a membership to the golf course. The plan is for 36 units in 2-unit buildings (duplex style condos). Ripple compared the design and operation to the "Villages" in Florida but on a much smaller scale. Administrator Friday explained that there would be a need for a zone change of the property which requires public hearings and notification to neighboring residents. Ripple stated that they would like to start construction on the 18<sup>th</sup> hole this year which would move it to the other side of the property which then they would be able to start construction of the development. Their plan is to start moving on this project as soon as possible.

Commissioner Schmidt stated that he would like to see a drawing of the development in order to visualize what the area will look like. Administrator Friday pulled up a map with hand drawn buildings on it along with a hand drawn roadway.

Commissioner Gillespie made a motion to accept the concept plan contingent upon obtaining a zone change. Commissioner Sheppard amended the motion to include a submittal of a CSM. Commissioner DeKeyser seconded the amended motion. After further discussion regarding the allowable 4 parcel land splits on a CSM versus a plat which is used for land splits that exceed 4 parcels, the motion was again amended. Commissioner Sheppard amended the previous motion accepting the concept place contingent upon obtaining the required zone change and submitting the proper land division document as prescribed by state statute. Commissioner DeKeyser seconded the motion. Motion carried, 7-0.

9) Correspondences:

- a. *Proposed project*: Cottages at High Cliff (Dan & Karin Christ; July 25).



b. *Open fires in yard*: Problem with neighbor's fire (DeCoursin; Aug. 1).  
These items were reviewed.

10) Adjourn: The meeting adjourned at 7:53 pm.

Respectfully submitted,

Jo Ann Lesser, CMC, WCMC  
Clerk/Treasurer

**Sherwood Plan Commission Meeting Report**  
**Aug. 5, 2019**

1) ACTION ITEMS

- a. *Concept Plan ('The Cottages at High Cliff')*: Consider concept plan for development of Planned Unit District regarding a 36 unit 18-lot residential subdivision development on the 18<sup>th</sup> hole of High Cliff Golf Course.

- *Private Road*
- *Private snow and grass removal*
- *Private Refuse/Recycle removal*
- *55 and over development*
- *Relocating the 18<sup>th</sup> hole to the other side of the property to allow for a correction of the design.*
- *The units would be located where the existing 18<sup>th</sup> hole is.*

***By 7 to 0 vote approval, Commission moved to recommend approval of the Concept Plan for the Cottages of High Cliff PUD contingent upon submittal of the proper land division documents as prescribed in the Sherwood Code of Ordinance and State Statutes, and with the property obtaining a zoning change for the affected portion of the current High Cliff Golf Course property.***

2) INFORMATION ITEMS

- a. Zoning Code updates – *Commissioners Salo, Schmidt and Summers worked together on the updates.*

Respectfully submitted for review and approval by Jo Ann Lesser, Clerk/Treasurer.

## Village Board Meeting Notice and Agenda

Monday, August 12, 2019 – 6:30 pm  
Sherwood Village Hall – W482 Clifton Rd., Sherwood, WI.

- 1) Call to Order and Roll Call.
- 2) Pledge of Allegiance.
- 3) Approval of the Agenda.
- 4) Approval of Minutes:
  - i. July 22 (Regular Meeting).
  - ii. July 24 (Special Meeting).
  - iii. Aug. 8 (Special Meeting).
- 5) Registered Citizen Comments on Agenda Items.
- 6) Report of the Community Development Authority (July 24) Recommendation:
  - a) *CDBG Program Closure: Federal gov't closing state Community Development Block Grant program. \$1.2M available in Calumet County for projects.* Info, only.
  - b) *Contract to remediate contaminated soils at former-Shenanigan's property. Bid awarded NTE \$16,350 (Cedar Corp.).* Info, only.
  - c) *Contract to remediate contaminated soils at former-Wink-Mart property. Request for formal proposal (Cedar Corp.).* Info, only.
- Report of the Plan Commission (Aug. 5).
  - a) *Concept Plan – The Cottages at High Cliff (Re: PUD #2019-02):*  
HCGC proposal to move Hole #18 and (re-)place 18 owner-occupied, duplex units.  
Approve, C.P., noting need for rezoning to 'residential' and PUD.
  - b) *Zoning Code: Updates (Ad Hoc Committee input).* Info, only.
- 8) Report of Village Officers.
  - a) Village President
  - b) Fox Cities Area Room Tax Commissioner
  - c) Clerk/Treasurer
    - i. Consent Agenda (Financial Reports).
    - ii. Preliminary Equalized Values and Net New Construction: *Preliminary (WisDOR).*
- 9) Village Engineer and/or Utility Operator: Updates.
  - a) *Contract B-19 – Meehl-Stumpf Subdivision.*
  - b) *Contract A-19 – State Park Road and Kesler Road.*
  - c) *FY2017-18 Paving and Drainage projects: Warranty work.*
  - d) *(pending) Pond View Estates subdivision: Construction Oversight (Cedar Corp.).*
- 10) Village Administrator: Project Updates.
- 11) Old Business: None.

Welcome to the Village Board Meeting! Please observe the following rules of conduct during the meeting:

1. Register to speak on the sign-in sheet on the table in the back of the room as you enter.
2. Speak only to issues on the Agenda.
3. Limit your presentation to three (3) minutes.
4. Do not address Trustees during deliberations unless requested to do so.
5. Any item listed on the Agenda may be acted upon by the Board.
6. A Quorum of any other Board or Commission is incidental to the V. Board meeting and no action shall be taken on their behalf.
7. Requests from persons w/ disabilities needing assistance to participate should be made to the Clerk (989-1589).

- 12) New Business:
  - a) *Pay Request #1 – Contract B-19 (Meehl-Stumpf)*: Consider payment request (\$182,788.55; MCC) for work completed thru July 26.
  - b) *State-supported Video Franchise Fee payments (Form SL-310)*: Consider Staff-recommended approval of State compensation for mandated reduction of video franchise fees.
- 13) Complaints & Compliments: None.
- 14) Correspondences: None.
- 15) Closed Session: The Village Board by roll call vote may move to a Closed Session pursuant to:
  - a) *Operator License*: Wis. Stats. §19.85(1)(f), Considering financial, medical, social or personal histories or disciplinary data of specific persons, preliminary consideration or specific personnel problems or the investigation of charges against specific person except where par. (b) applies which if discussed in public, would likely to have a substantial adverse effect upon the reputation of any person referred to in such histories or data, or involve in such problems or investigations (Alexa Harrison).
  - b) *Personnel discussion*: Wis. Stats. §19.85(1)(c), the Village Board may move to a Closed Session when considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.
- 16) Open Session: The Board may act on any item discussed in Closed Session.
- 17) Adjournment.

Welcome to the Village Board Meeting! Please observe the following rules of conduct during the meeting:

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## Village Board Meeting Minutes

August 12, 2019

- 1) Call to Order and Roll Call: President Joyce Laux called the meeting to order at 6:30 pm. Trustees present were Roger Kaas, David Miller, Kathy Salo, and Ned Marks. Trustees absent included Bob Benz and Lisa Ott. Also in attendance was Times-Villager Reporter Tom Collins, Administrator Randy Friday, Plan Commission Chairman Steve Summers, and Clerk/Treasurer Jo Ann Lesser. There were twelve other attendees.
- 2) Pledge of Allegiance: All those present stood to recite the Pledge of Allegiance.
- 3) Approval of the Agenda: Trustee Salo made a motion to approve the agenda. Trustee Kaas seconded the motion. Motion carried, 5-0.
- 4) Approval of Minutes: Trustee Salo made a motion to approve the meeting minutes of July 22<sup>nd</sup>, July 24<sup>th</sup>, and August 8<sup>th</sup>. Trustee Kaas seconded the motion. Trustee Marks mentioned a correction to the July 22<sup>nd</sup> minutes on page 2, 11a, the last sentence starts with the word Not and it should be No. Motion carried, 5-0.
- 5) Registered Citizen Comments on Agenda Items: Bob Anderson of N7829 Niagara Court was present to comment on the concept plan for The Cottages at High Cliff golf course. Anderson stated he attended the plan commission meeting on August 5<sup>th</sup> and requested that the Village Board look over the plans and determine if this is the right thing for Sherwood. Anderson said he has one question and he would like to know if they're 18 single standing units or 18 duplexes accommodating 36 families?

Tom Herrmann of N7782 Spurline Court asked if this project benefits the Village of Sherwood long term? Herrmann stated that he's been a resident for 22 years and has seen the benefits that Randy Friday and the past and present Board members have done for the village, and hopes this Board will continue to evaluate the project and the effects on the village. His greatest concern is if this project is a long-term benefit for the village or an attempt to make a quick dollar. Wondered about the motive for doing this. Herrmann felt the village has been generous by awarding them grant money to help their business, he and his family enjoy the golf course but feels that this is not the right thing to do for the long term. Herrmann conveyed his concerns about drainage issues, since the area already has those problems.

Roland Smoot of N7779 Spurline Court stated that he moved to the village a few years ago and he doesn't golf but loves to watch golf and the people playing golf. Smoot wanted to echo the same concerns of Tom Herrmann, when the owners decided to put in a path the properties started getting more water in the yards. Smoot stated he has yet to see any assurances or any plan as to what is going to happen or any easement providing protection against any damage from the water. Smoot is very concerned about this project, he loves the golf course and Sherwood, asking the Board to keep them in mind when considering this project. Would like communication from the village on how and when they will be impacted and allow the residents to speak on their concerns.

- 6) Report of the Community Development Authority (July 24)
  - a) *CDBG Program Closure*: Federal gov't closing state *Community Development Block Grant* program. \$1.2M available in Calumet County for projects: Trustee Kaas gave an update that he has submitted 4 properties to the County for remediation and that they are up against some large projects in Brillion and New Holstein.

- b) *Contract to remediate contaminated soils at former-Shenanigan's property.*  
Bid awarded NTE \$16,350 (Cedar Corp.): Trustee Kaas informed the Board that the test results are back and that the contaminated soil is a rather small area to be remediated. The CDA approved a bid of up to \$16,300 to do that remediation.
- c) *Contract to remediate contaminated soils at former-Wink-Mart property.*  
Request for formal proposal (Cedar Corp.): A report was received from Cedar Corp which included information on the WinkMart site currently has a deed restriction due to the previous contamination. Has testing done in 2015 which shows a couple of sites contaminated which will require the impervious surface to be contained and could hinder development. The CDA wanted to explore the cost of having that property remediated and asked Cedar Corp to put together a proposal.

7) Report of the Plan Commission (Aug. 5).

- a) *Concept Plan – The Cottages at High Cliff (Re: PUD #2019-02):*  
HCGC proposal to move Hole #18 and (re-)place 18 owner-occupied, duplex units. Approve, *C.P.*, noting need for rezoning to 'residential' and PUD: Chairman Summers stated that the project requires a zone change from recreational to residential. With a zone change there's a requirement to have a public hearing, residents are notified of the hearing and that's the opportunity to convey their opinion. The Plan Commission did approve the concept plan on a vote of 7-0.

Administrator Friday informed the Board that the road would be private and that the parcel is 7 acres.

Dan Ripple the President of High Cliff Golf Course presented information to the Board regarding the project. Ripple stated that they have hired Martenson and Eisele Inc. to engineer the plan and is currently working on the drainage portion of the project. Ripple indicated that there will be a pond on the property for stormwater and this will be where road, roof and sump pump water will be directed to. Ripple stated that the homeowners association (HOA) is a high bred of sorts, as the condo owners will own the lots as well. The square footage of the condo will range from 1,440 to 1, 650 sq. feet per side and they will be single story homes. To answer Mr. Herrmann's question about the reasoning behind the development is to increase revenue while reducing expenses and hopefully be debt free. The HOA fee will be \$255 per month, this will cover the cost of grass cutting, snow removal, garbage/recycle services, and also allows for a membership to the course to the owners.

Trustee Miller asked for price range of units. Dan Ripple stated that they would start at \$247,000 and go up to \$290,000, this price includes the lot. Each lot is approximately 11,000 sq. feet. Ripple is estimating the village's annual tax revenue from the project to be around \$200,000. Ripple also reported that the development will stay with golf course and won't be sold.

Trustee Salo informed the room that there is still a lot of planning and design work to do.

Trustee Marks commented that storm water is a greater issue and Ripple responded that it's being considered.





Trustee Salo made a motion to approve the concept plan The Cottages at High Cliff contingent on the hearing for the zoning along with the other work that needs to be done with the DNR and any easements. President Laux seconded the motion. Motion carried, 5-0.

- b) *Zoning Code: Updates* (Ad Hoc Committee input): Chairman Summers stated there are two items needing more work and they should have something for the Board at the September meeting.

8) Report of Village Officers.

- a) Village President: President Laux informed the Board that she received Trustee Marks resignation for the PRUT Committee effective immediately. Laux thanked Ned Marks for his time with the committee.
- b) Fox Cities Area Room Tax Commissioner: None
- c) Clerk/Treasurer
  - i. Consent Agenda
    - (a) Financial Reports: Checks and Vouchers for Funds 100, 230, 260, 403, 410, 600, & 610 in the amount of \$336,850.44.
    - (b) Preliminary Equalized Values and Net New Construction: *Preliminary (WisDOR)*.

Trustee Salo made a motion to approve the consent agenda. Trustee Kaas seconded the motion. Motion carried, 5-0.

9) Village Engineer and/or Utility Operator: Updates.

- a) *Contract B-19 – Meehl-Stumpf Subdivision*: Administrator Friday informed the Board the project is on track for completion, mid-September. Trustee Kaas informed the Board of a letter to the editor in the Post-Crescent last weekend from a Hilbert resident regarding the ditch depth. Friday stated residents were given an option of curb and gutter and be assessed the cost, or, utilize the ditch option and pay nothing extra. The vast majority chose the ditch option. Friday stated the ditches will be filled in more when sod is laid down in the bottoms.
- b) *Contract A-19 – State Park Road and Kesler Road*: Trustee Marks was concerned if the A19 Contract work will be finished this year because it hasn't begun yet. Administrator Friday confirmed the project will be completed and there is plenty of time left in the construction season. Kesler Road is being prepped by at this time and the State Park project portion will begin following a race along that route to avoid conflicts.
- c) *FY2017-18 Paving and Drainage projects*: Warranty work: The engineer's report detailing the areas in need of corrections was reviewed.
- d) *(pending) Pond View Estates subdivision*: Construction Oversight (Cedar Corp.): Friday reported water and sewer plans have been approved, while stormwater plans are under final review by WisDNR. Van's Construction initially planned to start on August 12<sup>th</sup>. Their revised start date is Monday, August 19<sup>th</sup>.

10) Village Administrator: Project Updates: Administrator Friday informed the Board he received a signed WB-11 Offer to Purchase from Ronald Hawkinson and a closing date will be set soon.

11) Old Business: None.

**Sherwood Plan Commission Meeting Minutes**  
**Special Meeting**  
**May 18, 2020**

NOTE: Due to COVID-19 restrictions, residents are not allowed in the Village Hall but may 'join' the meeting at 6:30pm via WebEx meeting home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). On the upper right-hand side of your computer screen you will see the link to join the WebEx meeting. You may also print or save a copy of the complete meeting packet.

- 1) Call to Order/Roll Call – *Chairman Summers called the meeting to order at 6:30 p.m. with roll call:*
- |                                 |                                    |
|---------------------------------|------------------------------------|
| <b>Present</b>                  | <b>Absent</b>                      |
| <i>Jean DeKeyser (virtual)</i>  | <i>None</i>                        |
| <i>Bob Gillespie</i>            | <b>Others Present</b>              |
| <i>Joyce Laux</i>               | <i>Randy Friday, Administrator</i> |
| <i>Kathy Salo (virtual)</i>     | <i>Kathy Mader, Acting Clerk</i>   |
| <i>Brad Schmidt</i>             | <i>Craig Hamilton, AIT</i>         |
| <i>Scott Sheppard (virtual)</i> |                                    |
| <i>Steve Summers</i>            |                                    |

2) Pledge of Allegiance – *Recited*

3) Approval of the Agenda – *Schmidt moved to approve the agenda. Laux seconded. Motion carried unanimously.*

4) Approval of Minutes: March 2 – *Gillespie moved to approve the March 2, 2020 meeting minutes. Schmidt seconded. Motion carried unanimously.*

5) Citizen comments on agenda items

- *Bob Anderson (virtual) N7829 S Niagara Ct Re: 7 c – 7 f*  
*Anderson believes the High Cliff Golf Course proposed development will be a high density develop and suggests the Village consider revising the high-density policy. He also inquired whether or not the Village engineer checked the traffic issues as suggested by the Plan Commission at the March meeting? Would it be gated as suggested by Corey Feller, HCGC? He requests the PC to take these concerns into consideration before moving forward.*
  
- *Lucia Moburg (virtual) W4864 Forest Lane Re: 7 c – 7 f*  
*Moburg opined the preservation of Sherwood as it is today is to care for the future generations of Sherwood. She questioned why progress needs to be development rather than the preservation of the existing.*
  
- *Craig Booher (virtual) W4897 Golf Course Rd Re: 7 c – 7 f*  
*Booher expressed concern regarding the traffic at the intersection of Golf Course Road and Palisades Trail. He requests the Plan Commission to not approve the development.*

- *Roland Smoot (virtual) N7779 Spurline Ct Re: 7 c – 7 f  
Smoot stated he had a direct conversation with Dan Rippl, High Cliff Golf Course, and understands the reason HCGC needs to build the development is because they bought the High Cliff Restaurant and, now, they need revenue.*

6) Officer's Report

- a. Plan Commission – Chair – *Summers thanked Sheppard for chairing the March 2 meeting and stated the Open Burning results and Fire Pit Regulations discussion will be moved to the June agenda.*

*Summers reminded everyone in attendance (in-person and via virtual) the Plan Commission is a recommending body. Therefore, the final discussion to approve or deny will occur at the Village Board level.*

- b. Zoning Administrator – *Friday said the permitting season is very busy and, in the near future, there might be discussion regarding the current versus future use of Sherwood Forest Golf Course property.*

7) Old Business:

- a. Open Burning: Survey results (Salo; June).
- b. Fire Pit regulation: Ordinance review (Summers; June).

**NOTE: For prior information regarding items 7c thru 7f., refer to March 2. New information, only, included in May 18 paper copy packet.**

- c. RP #2019-01: (Note: Public Hearing conducted March 2) A rezoning petition (Drive Fore Success, LLC) to rezone parcel #13425 (18<sup>th</sup> Hole) from IR-1 to IR-2 zoning district. – ***Salo moved and Laux seconded to recommend Village Board approval of RP #2019-01, rezoning parcel #13425 from IR-1 to IR-2, contingent upon the Village Board negating or dissolving the 2010 Developer's Agreement. Unanimous approval.***

*Schmidt requested clarification of Village Zoning Code district standards for IR-2 district; inquired of High Cliff Golf Course representatives and their engineers what part of the IR-2 standards will the development not be able to meet if they are requesting the PUD.*

*Gary Zahringer (virtual), Martenson & Eisele, responding to Schmidt, stated the front yard setbacks are 17' versus 30' required in IR-2; the closer-to-the-private-drive front yard setbacks allow larger backyards that will abut Golf Course Road residences. Zahringer explained a normal public street is 66 feet wide road-right-of-way. While this private development drive area width is considerably smaller since it is a private drive.*

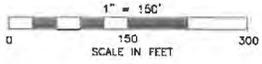
*Sheppard stated the High Cliff Golf Course is a private entity not a public entity such as the High Cliff State Park, therefore, their financial situation is not an issue for the Plan Commission.*

*Gillespie requested clarification of the motion. Salo explained, since the TID 1 is closed, to consider approval or denial of this item, the agreement should be negated or dissolved.*

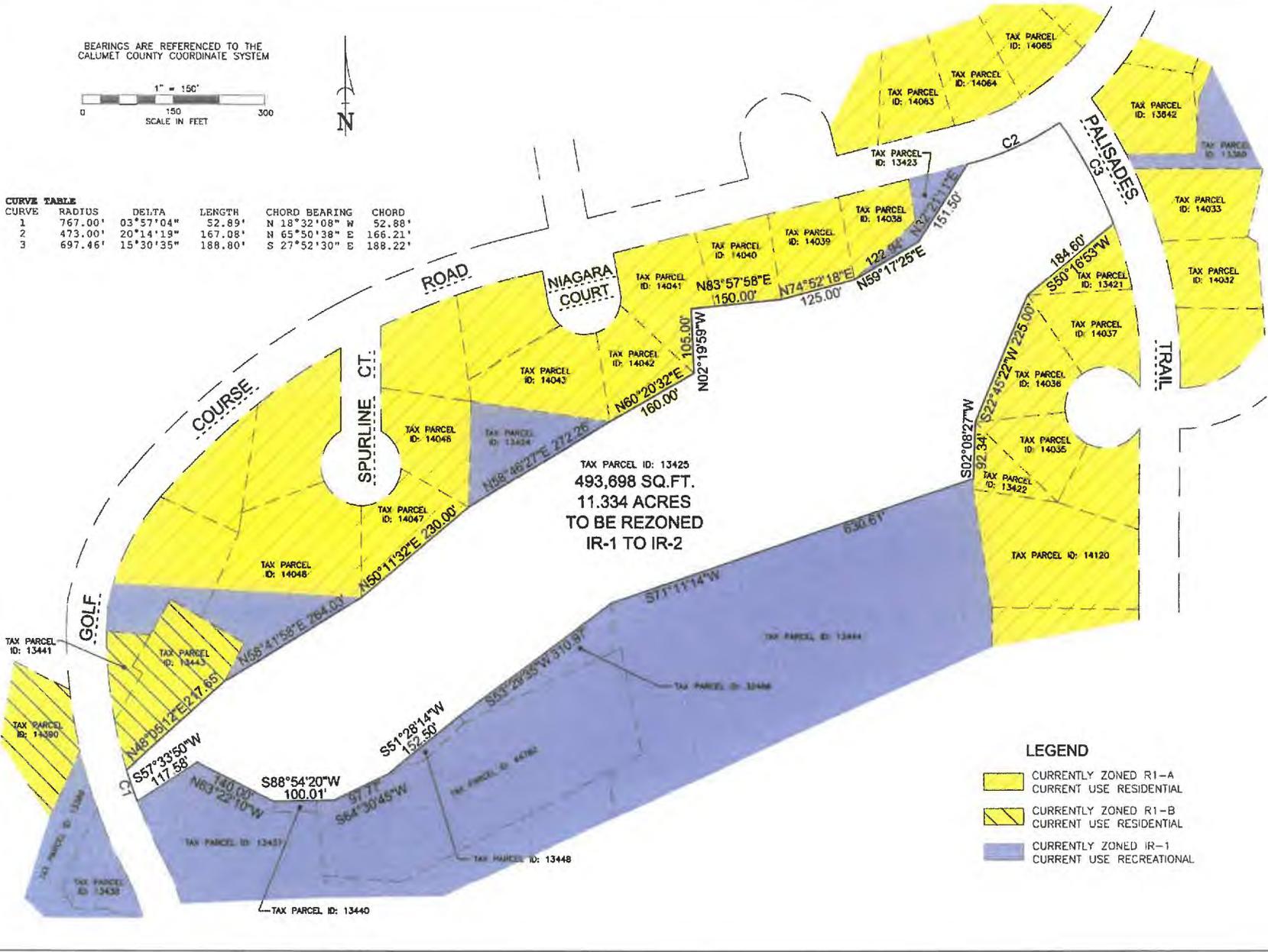
*Salo questioned Dan Rippl (virtual), High Cliff Golf Course, if they would consider a lower density development, for example 10 buildings with 20 units. Rippl responded it would not be fiscally prudent for the needed revenue.*

- d. PUD #2019-02: (Note: Public Hearing conducted March 2) Consider a Planned Unit Development (22 buildings as 44 duplex units) based on RP #2019-01 (Drive Fore Success, LLC) allowing development of duplex units on current 18<sup>th</sup> Hole of HCGC (11.3 acres) – ***Gillespie moved to recommend the Village Board approve PUD #2019-02 conditional upon completion of the WDNR wetland delineation study. Laux seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Nay, Schmidt – Nay, Sheppard – Nay, Summers – Aye. Vote 4-3 to deny.***
  - e. CPA #2020-01: (Note: Public Hearing conducted March 2) A Comprehensive Plan Amendment in concert with RP #2019-01 and/or PUD #2019-02 regarding the land use of High Cliff Golf Course Hole #18 (Parcel #13425; Drive Force Success, LLC); Maps 8-3 (Land Use) and 8-4 (Future Land Use) – ***Sheppard moved to recommend the Village Board approve CPA #2020-01, Comprehensive Plan Amendment in concert with RP #2019-01, regarding the land use of High Cliff Golf Course Hole #18, Parcel #13425; Maps 8-3 (Land Use) and 8-4 (Future Land Use). Gillespie seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Aye, Sheppard – Aye, Summers – Aye. Vote 6-1 to approve.***
  - f. Concept Plan: (Tabled from Dec, 2019) Consider updated High Cliff Golf Course (Drive Fore Success, LLC) proposed development on 18<sup>th</sup> hole (Parcel #13425) – ***Gillespie moved to recommend Village Board approval of the updated Concept Plan for the High Cliff Golf Course proposed development on the 18<sup>th</sup> hole, Parcel #13425. Laux seconded. DeKeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Nay, Sheppard – Aye, Summers – Aye. Vote 5-2 to approve.***
- 8) New Business:
- a. Area Development Plan (ADP # 2020-01): Consider development proposal (Parcel #13697; 10.2acres; Schulz, Burzynski). Note: Previous plan reviewed in 1997 for development as Sherwood Forest 2<sup>nd</sup> Addition. Only one lot approved, via CSM, for construction of a single-family home (Schultz) – *In consensus, the Plan Commission suggested Burzynski continue discussions with a civil engineer to ensure the utilities on the ADP are placed in such a way as to not impact possible future lot(s) development.*

BEARINGS ARE REFERENCED TO THE CALUMET COUNTY COORDINATE SYSTEM



CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
1	767.00'	03°57'04"	52.89'	N 18°32'08" W	52.88'
2	473.00'	20°14'19"	167.08'	N 65°50'38" E	166.21'
3	697.46'	15°30'35"	188.80'	S 27°52'30" E	188.22'



TAX PARCEL ID: 13425  
 493,898 SQ.FT.  
 11.334 ACRES  
 TO BE REZONED  
 IR-1 TO IR-2

**LEGEND**

	CURRENTLY ZONED R1-A CURRENT USE RESIDENTIAL
	CURRENTLY ZONED R1-B CURRENT USE RESIDENTIAL
	CURRENTLY ZONED IR-1 CURRENT USE RECREATIONAL

**Martenson & Eisele, Inc.**  
 Planning  
 1377 Money Road  
 Menasha, WI 54952  
 Environmental  
 Engineering  
 www.martenson-eisele.com  
 920.731.0381 1.800.238.0381

DATE	BY	REVISION

**REZONING**  
 PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4 AND  
 SOUTHWEST 1/4 OF THE SOUTHEAST 1/4,  
 SECTION 25, TOWNSHIP 20 NORTH, RANGE 18 EAST  
 VILLAGE OF SHERWOOD, CALUMET COUNTY,  
 WISCONSIN.

SCALE 1"=150'	DATE Feb, 2019
COMPUTER FILE 1-1263-001.mxd	
DRAWING NO. 1-1263-001	



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W482 Clifton Road  
P. O. Box 279  
Sherwood, WI 54169-0279

Tel: 920-989-1589  
Fax: 920-989-4084  
www.villageofsherwood.org

FM: Randy Friday

RE: HCGC (d/b/a Drive Fore Success, LLC) request(s) for RP #2019-01 and PUD #2019-02

DATE: Dec. 20, 2019

**To Whom It May Concern,**

At and earlier Plan Commission meeting I was asked to investigate and provide guidance to two questions regarding the High Cliff Golf Course ( Drive Fore Success, LLC ) desire to develop a portion of that golf course (Hole #18) into housing units. The process involves a rezoning request and planned development district by the HCGC, and a change to the *Comprehensive Plan* by the Village Board.

**Question #1: Zoning – What are the differences between the ‘IR-1’ and ‘IR-2’ classifications?**

Relative to this matter, the basic answer is one district allows home-building & golf course amenities (IR-2), while the other only allows golf course amenities (IR-1).

HCGC was developed as an 18-hole-golf course (IR-1 property–Industrial Recreation). Their desire is to rezone to IR-2 (Residential), whose district classification was used to develop the *Sherwood Forest Golf Course*, a 9-hole golf course, in the early-2000’s. In that case, the developer owned all the land around the golf course being laid out and developed the subdivision infrastructure.

HCGC (Drive Fore Success, LLC) is asking to rezone one hole (up to 10-acres) of their approximately 190-acre property changing from IR-1 zoning because it (constricts) their business from developing housing units along the golf course. By contrast, IR-2 zoning allows for golf course development, as well as single- and two-family structures, and zero lot-line duplexes to be built in that zoning district ( See below ).

**§ 22-7 IR-1 Recreation Industry District.**

- A. Statement of intent. This district is intended to provide areas for the commercial and public recreation industry together with activities and uses typically associated with the same. It is also the purpose of the district to preserve, enhance or develop, as appropriate, natural and scenic resources where these may exist or may be created.
- B. Permitted uses by right:
  - (1) Public or private golf courses, excepting buildings.
  - (2) Public or private parks, including jogging, bicycle, downhill and cross-country ski trails.
  - (3) Any use listed as a permitted use in the CON Conservancy District.
- C. Permitted accessory uses:
  - (1) Irrigation systems.
  - (2) Parking, loading and unloading facilities associated with permitted or conditional uses.
  - (3) Park entrance facilities and control stations.
- D. Uses permitted by conditional grant:
  - (1) Flowages, ponds, and water storage areas involving a dam, berm or dike, together with associated pumping facilities.

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- (2) Electrical transmission lines.
  - (3) Piers, docks and boathouses.
  - (4) Filling, drainage or dredging, provided conforms to Chapter 21, Shoreland-Wetland Zoning, of the Village Code.
  - (5) Removal of topsoil.
  - (6) Relocation or other alteration of any watercourse.
  - (7) Mining and quarrying required primarily for the development of recreation activities.
  - (8) Clubhouses and buildings accessory to golf courses.
  - (9) Golf driving ranges when accessory to golf courses.
- E. Parking and loading requirements. The parking and loading requirements applicable to the IR-1 Recreation Industry District are set forth in Articles VI and VII of this chapter.
- F. Buffers and landscaping. Requirements relating to buffering and landscaping of certain structures in the IR-1 Recreation Industry District are set forth in Article IX of this chapter.
- G. District lot and building bulk regulations:

District	Minimum lot size		Minimum building setback				Max. Height
	Area	Width (feet)	Water	Front	Side	Rear	
IR-1	—	—	75	25	20	50	35

**IR-2 Recreation Industry/Residential District.**

This district is intended to provide areas for the commercial and public recreation industry together with residential uses and other activities and uses typically associated with the same. It is also the purpose of the district to preserve, enhance or develop, as appropriate, natural and scenic resources where these may exist or may be created and where such resources may be compatibly integrated with other types of uses in order to improve the quality of life of Village residents.

Permitted uses by right: Single-family, Two-family & Zero Lot-line Duplexes; public parks, golf courses, recreation trails; Items allowed in the *Conservancy* district.

Accessory Uses permitted: Garages, carports, home occupancy uses/business, signs, recreation & service buildings.

Conditional Uses permitted: Fire stations, libraries, schools, religious facilities, 'care' facilities, 'planned developments', piers, docks, etc.

Note: Zero-lot-line duplexes ( Added: 2003 ).

- (1) All certified survey maps and subdivision plats creating zero-lot-line duplexes and any deeds conveying either unit of such duplex shall have a restriction requiring the exterior of the building to be maintained, decorated, and repaired so as to retain a uniform appearance of both units. Further, the following restriction shall be placed upon the same: "When attached dwelling units are created, matters of mutual concern to the adjacent property owners, due to construction, catastrophe, and maintenance, shall be guarded against by private covenant and deed restriction, and no approving authority shall be held responsible for the enforcement of same.
- (2) Separate sewer, water and other utility services must be created for each unit of a zero-lot-line duplex.
- (3) Each property owner is responsible for coordinating property maintenance responsibilities with the adjoining zero-lot-line unit.
- (4) The lot must have been previously planned for a duplex or two-family dwelling.
- (5) No accessory structures will be permitted for any zero-lot-line duplex.
- (6) The sum of the lot areas must meet the minimum frontage and area requirements for a two-family home in that district. The side yard setback may be zero on one side, provided that:
  - (a) The adjoining side yard setback of the lot adjacent to the zero side yard is also zero; and

- (b) The opposite side yard is not less than eight feet.
- (7) Zero-lot-line duplexes shall share a common wall, and both units shall be built simultaneously. Wherever improvements abut on the common boundary line between adjoining units, there shall be a one-hour fire wall running from the lowest floor level, including the basement if it is the common wall, to the underside of the roof sheathing. Such basement wall, if any, shall be waterproofed masonry.
- (8) Only one side or wall of a zero-lot-line duplex may be shared. All others must be within the buildable area of the lot as established by using the standard side, rear, and front yard setbacks for the district in which the twin home is to be permitted.
- (9) If not previously arranged for on the recorded plat, all land divisions converting duplexes to zero-lot-line duplexes must occur by a certified survey map.
- (10) In the event of the total destruction of the zero-lot-line duplex building, it shall be determined by agreement of both unit owners whether to rebuild, restore or sell the property. If damage is only to the unit on one parcel and such damage does not affect the other unit, the damaged unit shall be repaired by the owner of that damaged unit

**Question #2: How does development of the property compare to the Village Comprehensive Plan?**

Regarding this parcel (18<sup>th</sup> Hole; Parcel # 13425), like the Zoning Map, the *Comp. Plan* would have to change reflecting the ability to build single-family, two-family, and/or two-family duplex units on the property. Currently, the *Comp. Plan* reflects 'golf course-related amenities', only.

The same basic zoning language ('IR-1' vs. 'IR-2') is/was used when developing the *Sherwood Forest Golf Course* subdivision, which developed years after the HCGC developed. It simply added the ability for home-building within the development.

My understanding is the HCGC ('IR-1' district) was developed by Frank Schneider and only contemplated golf course amenities at that time. The *Sherwood Forest Golf Course* subdivision ('IR-2') was developed by the 'KMS' group (Kress, Michels, Schmidt) who wanted home construction along with the golf course and the property that their group owned.

Futher documentation is available at the Village Offices.

Regards,

  
Randy Friday  
Village/Zoning Administrator

March 25, 2020

Randy Friday  
Village of Sherwood  
P.O. Box 279  
W489 Clifton Road  
Sherwood, WI 54169



Re: High Cliff Golf Course

Dear Mr. Friday:

You have asked for a legal opinion regarding the impact and applicability of the 2010 "Redevelopment Agreement" between the Village of Sherwood and High Cliff Golf Course, Inc., relative to a proposed residential development on a portion of the golf course. The location is Tax Parcel 13425 consisting of 11.33 acres. It is my understanding that at the present time most, if not all, of Tax Parcel 13425 is used as an active part of the golf course. The proposal would involve moving that part of the active course south, to another parcel to maintain an 18 hole course.

#### **1. The Agreement**

The Redevelopment Agreement was made in connection with Village Tax Incremental District No. 1, (TID No. 1). The primary purpose of the Project was to enhance the financial efficacy of the golf course. Village obligations include a grant of \$349,000 for the construction of an irrigation system and granting necessary access easements over Village property. The design and specifications of the system required Village approval. The system location is not fixed by easement or described with any particularity in a legal context.

High Cliff obligations include the construction of an irrigation system; grants of stormwater, trail and cross-country ski easements to the Village; and conveyance of property to the Village referred to as the Woodland parcels. The easements and conveyances are stand alone documents recorded with the Register of Deeds.

High Cliff obligations also include operating the Project property continuously as a golf course for 25 years. High Cliff is also obligated to grant the Village an option to purchase the Project property in the event it ceases to be used for golf course purposes for a period of 12 consecutive months. It is my understanding that TID No. 1 has recently been closed out as the tax increment has covered Village costs.

The Agreement goes on to provide that all of the obligations, terms and provisions contained in the Agreement and the stand alone documents survive all actions and events

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contemplated by the Agreement. The terms and provisions are binding on the parties, their successors and assigns and shall be deemed covenants running with the land.

## 2. Issues

**1. Would the Redevelopment Agreement prohibit or preclude the Village from rezoning Tax Parcel 13425 for the proposed development?** In my opinion, no. The Redevelopment Agreement is a contract between High Cliff Golf Course and the Village. A restriction for golf course use is part of that contract. The Village could simply agree to revise the Agreement or simply agree to terminate or release the Agreement in its entirety. With the close-out of TID No. 1 and payment of Village costs, the Agreement has diminished importance.

I do not see any aspect of the restriction on use as a “general plan or scheme” for protection beyond the golf course property itself which might enable non-contractual parties like adjacent landowners to enforce the restrictions in equity. Similarly, I do not see any non contractual parties like adjacent landowners as “third party beneficiaries” of the Redevelopment Agreement.

To maintain an action as a third party beneficiary, a plaintiff must show that the parties to the contract intentionally entered their agreement directly and primarily for the plaintiff’s benefit. *Schell v. Knickelbein*, 77 Wis. 2d 344, 348, 252 N.W. 2d 921 (1976) quoting *Ampex v. Sound Institute, Inc.*, 44 Wis. 2d 674, 683, 172 N.W. 2d 170 (1969). (Emphasis added.) A third party cannot maintain an action as a third party beneficiary if under the contract his was only an indirect benefit merely incidental to the contract between the parties. Id.

Although the general rule is that only a party to a contract may recover under it, there is an exception for a contract specifically made for the benefit of a third person. *Gossen v. Estate of Standaert*, 189 Wis. 2d 237, 249, 525 N.W. 2d 314, 319 (Ct. App. 1994). The person claiming to be a third party beneficiary must show the contract was entered in to by the parties to the contract directly and primarily for the benefit of the third party. Id. An indirect benefit incidental to the contract is not sufficient. Id. The contract must indicate that the third party was specifically intended to benefit from the contract, or is a member of a class the contracting parties intended to benefit. Id. Such a contract is subject to the same rules governing the formation of all contracts. *Pappas v. Jack O.A. Nelson Agency, Inc.*, 81 Wis. 2d 363, 371, 260 N.W. 2d 721, 725 (1978).

In this case, it should also be noted that the Redevelopment Agreement itself has a provision which states in part: “the rights and benefits of Redeveloper hereunder are solely for the benefit of Redeveloper named herein and no other party or parties.”

As a final comment, no municipality has the authority to enter into an agreement or contract that limits or controls the exercise of a legislative power or authority. An agreement between a property owner and municipality that limits the power to zone or rezone or not to rezone is illegal and void, because a municipality may not surrender any of its future legislative authority. A rezoning is a legislative act. *Zupanic v. Schimens*, 46 Wis. 2d 22, 174 N.W. 2d 533 (1970).

**2. Would the Redevelopment Agreement prohibit or preclude High Cliff Golf Course, Inc., from developing Tax Parcel 13425 if it was rezoned?** In my opinion, probably not. (Of course it would not if the Village revised or released the Agreement).

Under Wisconsin law, any of the use restrictions in the Agreement would be narrowly construed in favor of the free use of the property. Public policy favors the free and unrestricted use of property. Accordingly, restrictions contained in deeds and zoning ordinances must be strictly construed to favor unencumbered and free use of property. *Crowley v. Knapp*, 94 Wis. 2d 421, 434, 288 N.W. 2d 815 (1980) citing *McKinnon v. Benedict*, 38 Wis. 2d 607, 619, 157 N.W. 2d 665 (1968); *State ex rel. Bollenbeck v. Shorewood Hills*, 237 Wis. 501, 297 N.W. 568 (1941); *Cohen v. Dane County Bd. of Adjustment*, 74 Wis. 2d 87, 91, 246 N.W. 2d 112 (1976).

A provision in a zoning ordinance or deed restriction which purports to operate in derogation of the free use of property must be expressed in clear, unambiguous and preemptory terms. *Crowley* at p. 435. A violation occurs only when there is a plain disregard of its limitations imposed by its express words. *Browndale Intern. Ltd. V. Board of Adjustment*, 60 Wis. 2d 182, 200, 208 N.W. 2d 121 (1973); *Missionaries of La Salette v. Whitefish Bay*, 267 Wis. 609, 614, 66 N.W. 2d 627 (1954).

I am not sure of the full legal description of the High Cliff Golf Course. As much as I know, there appears to be well over a dozen parcels. Whether or not each and every parcel is "operated as a golf course" is somewhat questionable. Likewise, whether the Redevelopment Agreement restricts each and every parcel to operation of a golf course is somewhat questionable. That High Cliff intends to reconfigure the course to maintain 18 holes may be material to whether there would be a "violation" of the restriction. The Agreement does not appear to delineate what is the "golf course" with any particularity. I have doubts about whether the Agreement requires a status quo golf course layout.

Finally, it is my opinion that Community First, as mortgagee, would not be bound by the restrictions in a foreclosure. In fact, the Community First Consent states as much: "This covenant does not constitute an acknowledgement by Lender that any of the terms and conditions of this Agreement are binding upon it except as hereinafter stated."

### **3. Conclusion**

The primary purpose and intent of the conditions and restrictions in the Redevelopment Agreement is to ensure that the Village grant of \$349,000 will be used to construct an irrigation

system and that these funds will be recovered by an increment in property values over the life of TID No. 1. As TID No. 1 has closed, the primary purpose has been achieved. I do not see the Redevelopment Agreement as an impediment to the Village exercising its legislation discretion on whether to rezone or not to rezone for the proposed development. I have significant doubts that adjacent property owners would be able to successfully enforce the Redevelopment Agreement as to High Cliff or the Village such that Tax Parcel 13425 could not be rezoned or that it must be used as an active part of the golf course layout.

Sincerely,  
TOWN COUNSEL LAW & LITIGATION, LLC  
*s/Richard J. Carlson*  
Richard J. Carlson  
Attorney

RJC:lb

*Sheppard stated the High Cliff Golf Course is a private entity not a public entity such as the High Cliff State Park, therefore, their financial situation is not an issue for the Plan Commission.*

*Gillespie requested clarification of the motion. Salo explained, since the TID 1 is closed, to consider approval or denial of this item, the agreement should be negated or dissolved.*

*Salo questioned Dan Rippl (virtual), High Cliff Golf Course, if they would consider a lower density development, for example 10 buildings with 20 units. Rippl responded it would not be fiscally prudent for the needed revenue.*

- d. PUD #2019-02: (Note: Public Hearing conducted March 2) Consider a Planned Unit Development (22 buildings as 44 duplex units) based on RP #2019-01 (Drive Fore Success, LLC) allowing development of duplex units on current 18<sup>th</sup> Hole of HCGC (11.3 acres) – ***Gillespie moved to recommend the Village Board approve PUD #2019-02 conditional upon completion of the WDNR wetland delineation study. Laux seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Nay, Schmidt – Nay, Sheppard – Nay, Summers – Aye. Vote 4-3 to deny.***
- e. CPA #2020-01: (Note: Public Hearing conducted March 2) A Comprehensive Plan Amendment in concert with RP #2019-01 and/or PUD #2019-02 regarding the land use of High Cliff Golf Course Hole #18 (Parcel #13425; Drive Force Success, LLC); Maps 8-3 (Land Use) and 8-4 (Future Land Use) – ***Sheppard moved to recommend the Village Board approve CPA #2020-01, Comprehensive Plan Amendment in concert with RP #2019-01, regarding the land use of High Cliff Golf Course Hole #18, Parcel #13425; Maps 8-3 (Land Use) and 8-4 (Future Land Use). Gillespie seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Aye, Sheppard – Aye, Summers – Aye. Vote 6-1 to approve.***
- f. Concept Plan: (Tabled from Dec, 2019) Consider updated High Cliff Golf Course (Drive Fore Success, LLC) proposed development on 18<sup>th</sup> hole (Parcel #13425) – ***Gillespie moved to recommend Village Board approval of the updated Concept Plan for the High Cliff Golf Course proposed development on the 18<sup>th</sup> hole, Parcel #13425. Laux seconded. DeKeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Nay, Sheppard – Aye, Summers – Aye. Vote 5-2 to approve.***

8) New Business:

- a. Area Development Plan (ADP # 2020-01): Consider development proposal (Parcel #13697; 10.2 acres; Schulz, Burzynski). Note: Previous plan reviewed in 1997 for development as Sherwood Forest 2<sup>nd</sup> Addition. Only one lot approved, via CSM, for construction of a single-family home (Schultz) – *In consensus, the Plan Commission suggested Burzynski continue discussions with a civil engineer to ensure the utilities on the ADP are placed in such a way as to not impact possible future lot(s) development.*

Summary of why the Cottages Project will be beneficial to the ENTIRE  
Village of Sherwood.

**1. This Project is a win-win project for both the Village of Sherwood and High Cliff Public Golf Course.**

- a. It provides taxable quality property to the Village.
- b. No maintenance cost to the Village..... ONLY tax and fee collection.
- c. The project helps provide financial security to High Cliff Golf Course, the Villages largest tax payer and employer, for generations to come regardless of weather or unexpected occurrence such as the current pandemic.

**2. The Project accomplishes exactly what the 2030 Master Comprehensive Plan for the Village states.** The Project is for the 55 and over age group.

- a. Section 2.7 Housing for All Age Groups and Persons with Special Needs:
  - i. "This is particularly true in communities where a large proportion of the population has been long-time residents and there is a desire for these residents to remain in the area during their retirement years".
- b. High Cliff Cottages meet these needs with zero clearance entrance, 36" doors, lawn and winter work included and a senior couple membership at the golf course.
- c. At this point in time, there isn't a residential development for the aging population of the Village seeking to downsize to a home that meets their needs in Sherwood, forcing this valuable age group to move outside the Village.
- d. See Delfosse Letter (See Exhibit A)

**3. The homes will be a beautiful asset to the Village.**

This project offers attractive, higher value homes very similar to the developments in Door County near Horseshoe Bay or other successful golf course developments.

**4. Why we went from 18 to 22 units.**

- a. We originally had 18 units approved, we added 4 more units when the additional space was created by moving the tee boxes forward to help address the Christ and Jacks concerns of having a golf hole near their property. With the shortened hole, tee shots are no longer an issue.
- b. The revenue these additional units will provide will help defer costs from delays, suits and create future revenue.
- c. The original 18 units approved have not changed. There is still 3 acres of green space within the 11 acre project. The golf course is 192 acres.

**5. Why a PUD is vital to the project..**

- a. A valuable attraction of this project is that it will be golf cart friendly, and currently golf carts are not allowed on public streets in Sherwood.
- b. Keeping the homes backyard further away from the neighbors is important to the existing homes on #18. A PUD allows us to move the homes closer to the road.
- c. Lower or no traffic as a thoroughfare. This would be a private road and public traffic would not be allowed. The east end would be gated for emergency use only, which keeps traffic out of that neighborhood.
- d. The project will have very strict rules to insure the beauty and integrity of the neighborhood.

**6. This is not high density housing.**

- a. A housing unit with 30 housing units on less than 3 acres of land off of Golf Course Road is a better example of high density housing..
- b. A 20 unit apartment located on 1.5 acres next to the project is a better example of high density housing..
- c. There are more than 3 acres of green space within the project.
- d. Only 2 residents maximum are allowed in the Cottages, unless an illness requires a family member or health provider to stay with the owners. The current housing population in Sherwood is 2.8. The number of residents is limited and they must be 55+. Even if a unit is leased, all rules will still apply to the lessors.
- e. See Exhibits B and C for examples of unit spread. We average 28 feet.

**7. Addresses Neighbors concerns.**

- a. There will no longer be water issues in the backyards of the homeowners on existing 18 because of our engineered water management system.
- b. Blacktop golf cart paths to keep dust to a minimum.
- c. The appearance of the project will be much more aesthetically pleasing than the apartment building they look at now. . These will be beautiful homes on a very decorative, quiet street. This development will fit the character of the surrounding village.

**8. Traffic Concerns**

- a. Gated east end.
- b. Quiet owners.
- c. Mature, safe drivers.
- d. No loud vehicles.
- e. Golf Cart Community. Driving frequency is less.
- f. Many owners will likely be snowbirds making winter driving even less.
- g. Statistics show that the age group of 55+ are less frequent drivers.

**9. This 55 and over age group.**

- a. By nature, this group will shop local. They will eat in Sherwood restaurants. They will buy groceries at Dick's and get gas at the local gas station.
- b. Other businesses like the dentist and the credit union can also benefit from this age group.

**10. This is not the first, second, third or even fourth time the course has been reconfigured.**

- a. High Cliff Golf Course has been reconfigured as a golf course to benefit the population growth and needs of Sherwood many times before.
- b. The benefit with this plan is the sustaining nature of the Project.
- c. By design, the Project will greatly reduce or eliminate our debt. Additionally, it will provide a valuable income stream through maintenance fees to a business that is highly affected by unpredictable weather and a short golfing season.
- d. It will also provide valuable tax dollars to the Village and the Taxpayers of Sherwood.

**11. This project has been approved by the DNR and no issues have arisen.**

Engineering will address this in their report and documents.

**12. All engineering concerns have been addressed.**

- a. Along with our well respected Engineering firm Martenson and Eselie, collectively, we have addressed each and every concern that the Village has brought forth, and complied with all zoning and legal requirements that have been asked of us.
- b. We have also responded and adapted to concerns that have been brought up by the residents it affects.

**13. High Cliff Golf Course, often referred as the gem of Sherwood, will remain an 18 hole course** regardless of any legal issues currently being litigated on new hole 18.

- a. Contrary to belief and false accusations, the golf course will only be enhanced and not "butchered".
- b. We are golfers, Corey Feller is a PGA Professional and we all appreciate and want a fun, playable golf course that will draw golfers from the entire State of Wisconsin to participate in daily play or our 40 plus golf outings a year.

**14. We are completely open to renegotiate the Redevelopment Agreement**

- a. To the benefit of both the Village and the Course.
- b. This is not a factor to us and has always been looked at by us as a team effort between the golf course and the Village of Sherwood.

**15. Just the Facts. For the Record**

- a. We have heard many negative comments regarding funds the Golf Course received in TIF #1 for the irrigation system which was clearly stated in the agreement that we would receive.
- b. The Village has also greatly benefited from the TIF. Over \$107,000,000 of taxable property built on roads and infrastructure that were paid for from the TIF, most of the entire west side of Sherwood neighborhoods are a result of the TIF.
- c. With new easements for walking paths and donated parcels of land to the village, this was a win-win for partnership for all parties.
- d. The fact is.....Without this signature project, (page 3 of the TIF) written by Frank Schneider and Max Anderson, the TIF would have never been granted and the Village would not look like it currently does. Among other projects, the Village projects that are a direct result of this TIF include:
  - 1. Wanōk Park
  - 2. Village Maintenance Building
  - 3. Most of the newer neighborhoods in lower Sherwood
  - 4. Many roads, including the Sherwood Forest area.

**16. Contrary to what some might think, we do have **compassion for the neighbors** nearest to the project.**

- a. There was never a guarantee that this property was always going to remain a golf hole when their homes were purchased.
- b. We are in the golf business, and In today's golf business environment, additional revenue streams are a vital element to the long term success in the golf business. You can ask any golf course owner and look no further than Sherwood Forest, which is already headed to development. We want it to remain a course!

- c. The Village and course has seen many owners come and go, taking money out of the business and running. You couldn't ask for a more caring, knowledgeable and engaged ownership group for this facility than our group which has a long history in the Village of Sherwood.
- d. Again, contrary to false accusations this is not a money grab, this is a business investment.

## 17. Points of Success

- a. We have invested every dime of profit back into the course. This is amplified by our success in the Best of the Valley competition, eight years in a row.
- b. We first took over a dilapidated golf course and made it a gem in the golf industry.
- c. We took a dilapidated building and a failing business and revitalized it. The restaurant portion of the business hadn't made a profit in 22 years. The investment in the building was a much better option than letting it sit vacant to deteriorate in a beautiful area with no owner and loss of jobs.
- d. We enhanced the facility with a pub that perfectly fits the needs of the golf course.
- e. We took a risk, and that risk is showing great promise by the amount of bookings we have in the two great banquet halls that are now the talk of the wedding world.
- f. The building purchase allowed us to keep over 40 golf outings each year which may have gone elsewhere without a place to host their banquets.
- g. Our investment in the building and the golf course have kept and now provide over 55 jobs to employees of the area.
- h. Our investment has allowed the Vanden Wymelenbergs at Cliff View Catering to start their dream business IN the Village of Sherwood and provide more employment to the area.
- i. The addition of Holtze's Golf Shop to our facility provides onsite services important to golfers. We are now the leader in growing the game of golf.
- j. With the investment in the building, we have diversified our portfolio to not be completely dependent on golf revenue. The cottage project will add to this diversity..

**18. In 2020, we had over 100 events scheduled in our halls.**

- a. This proves we were on the right track, then Covid hit ending or postponing many of those events.
- b. Proving again the need for the financial security that this project provides.
- c. Growing and expanding your business to find new revenue streams is only smart business not a so-called "money grab" as some would say.

Finally, in the simplest terms..... without all the politics, this small piece of land (5.64%) is within a larger piece of land (192 acres) owned by us..... we are not tearing down buildings, no one has to move, it's not on a roadway, it doesn't affect the environment, we are not disturbing anything. Being within our property, when this is finished, it will blend in just like any other neighborhood in Sherwood. Nobody will know it's any different from any other property and will ultimately benefit many, including the tax payers of Sherwood.

We only have to look within our Village boundaries to see what can happen to a golf course in today's world. When Frank Schneider's dream came to fruition 52 years ago, there were 325 residents that called Sherwood home. Today, the Village is 10 times that size. We want to continue the legacy that Frank began, and this project will insure it does for future generations.

We thank you for your time and consideration of our project. We are excited to get the project started and are also excited about the opportunity this project offers to High Cliff Golf Course and the entire Village of Sherwood. We have people ready to build and we are hopeful for your support to change the zoning from the current IR-1 to IR-2 and to allow us a Private Unit Development for the entire 22 units on Monday evening.

Thank You!

Team Drive Fore Success

Three handwritten signatures in black ink, written in a cursive style, positioned below the text "Team Drive Fore Success".



Corey Allen Feller &lt;corey@highcliffgolfandeventcenter.com&gt;

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## Cottages at High Cliff

1 message

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**Mark Delfosse** <mjdmjdwi@yahoo.com>

Thu, Jun 11, 2020 at 11:29 AM

To: corey@highcliffgolfandeventcenter.com, Dan Rippl &lt;dan@highcliffgolfandeventcenter.com&gt;

Hi Cory and Dan - we saw that the Village Board will be meeting again on the Cottages as well as a public Hearing in July.....is there anything we can do to help move this project along? As you know, we are very interested in the positive outcome for this project.

In 1999, we purchased a lot and built at home in Sherwood. We have continued to regard Sherwood as our home and would like to continue to reside in Sherwood.

However, in the 20 plus years we have lived here, our needs, health and age have changed. We no longer need a four bedroom/3 bath home. The two bedroom/two bath home that the design for Cottages at High Cliff has put forth is very attractive to the changes in our lives.

The zero entrance along with snow and grass maintenance is now needed!

The opportunity to do both - continue living in Sherwood and having a home that fits our current needs - is exactly what we are looking for.

Again, if there is anything we can do to help your project move forward quickly, please let us know. We are past ready to move!

Thanks  
Mark and Mary Jo Delfosse  
N7820 Lakeshore Lane  
Sherwood, WI 54169

929-989-2460  
mjdmjdwi@yahoo.com

# EXHIBIT A



**EXHIBIT B**

**THIS IS AN EXAMPLE OF 24 FEET APART**

**EXHIBIT C**

**THIS IS AN EXAMPLE OF 8 FEET APART**

## Zoning FAQ 5

**May a municipality include a process in its zoning code by which property owners affected by a proposed rezone may file a protest petition triggering an extraordinary vote requirement for passage of the zoning change even though 2017 Wisconsin Act 243 repealed Wisconsin Statute § 62.23(7)(d)2m.a, the protest petition law?**

Yes. A municipality may create by ordinance a protest petition process like former Wis. Stat. § 62.23(7)(d)2m.a, which was repealed by 2017 Wisconsin Act 243, effective April 5, 2018. The former statute had provided as follows:

In case of a protest against a [proposed zoning] amendment ... duly signed and acknowledged by the owners of 20% or more either of the areas of the land included in such proposed amendment, or by the owners of 29% or more of the area of the land immediately adjacent extending 100 feet therefrom, or by the owners of 20% or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land, such amendment shall not become effective except by the favorable vote of three-fourths of the members of the council voting on the proposed change.

Nothing in state law expressly prohibits a municipality from adopting by ordinance the same or a similar protest petition process triggering an extraordinary vote requirement for passing a zoning change.

The ordinance should not refer to former Wis. Stat. § 62.23(7)(d)2m.a, since that statute no longer exists. Rather, a municipality may rely on its broad legislative home rule powers (Wis. Stat. § 61.34 for villages and Wis. Stat. § 62.11(5) for cities) and broad zoning powers under Wis. Stat. sec. 62.23(7) to adopt its own version of a protest petition process (per Wis. Stat. § 61.35, § 62.23 also applies to villages).

A related question has come up as to whether a municipality that has an ordinance mirroring the repealed statute, must replace that ordinance with another establishing the same or a similar protest petition process. If the ordinance makes no reference to the old statute, there is no need to update it. However, any references in the ordinance to the previous statute should be repealed (and replaced, if desired).

(rev. 11/19)

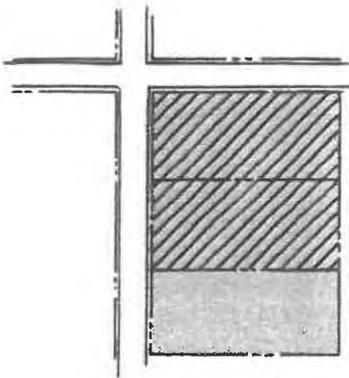
The ordinance should say what the report of the commission is to include, particularly answering the question of whether the commission is to draft or cause to have drafted the appropriate ordinance terms so that the council will have before it the amendment in a form that can be acted upon. The ordinance should also address whether the commission should recycle through the hearing process if the commission reports out an amendment in a significantly amended form.

The general law on this question is that a substantial change in an amendment proposal can require a recycling if the original notice was not broad enough to indicate that such change might be made and if the possibility of such alterations was not discussed openly at the hearing where persons interested in the amendment and its alternatives were able to learn of the possibility and comment upon it. See Annotations: Validity and Construction of Statutory Notice Requirements Prerequisite to Adoption or Amendment of Zoning Ordinances or Regulations, 96 ALR 2d 449, sec. 19. See also 39-292 OAG (1950).

The commission should take into account responses made by the persons who appear at the hearing and otherwise communicate on the amendment proposal. The commission is not, however, mandated as to its recommendation by any particular response it receives. This contrasts with the statutory mandate that a county plan commission must issue a negative recommendation if certain communications are received from town boards.

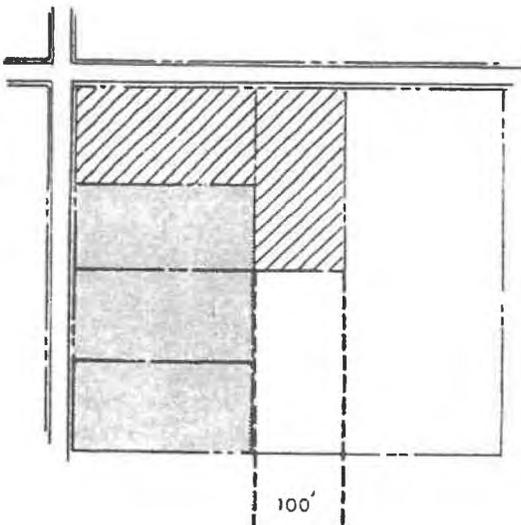
40. City and village law on protest petitions includes the following rules:
- a. Area eligible to sign protest petitions:
    1. Owners of 20% or more of the area included in the proposed amendment; or
    2. Owners of 20% or more of the area immediately adjacent and extending 100 feet there from; or
    3. Owners of 20% or more of the land directly opposite and extending 100 feet from the street frontage of such opposite land.
  - b. Signing and acknowledgement. The petition must be "duly signed and acknowledged" by the eligible owners.
  - c. Method and timing of submission. The statutes are silent, but it is unlikely that a city or village could ignore or dismiss an otherwise valid protest petition which was submitted in fact to the council or village board at any time before the legislative body was to vote on the amendment.
  - d. Vote requirement. A valid protest petition requires a three-fourths majority of the members of the city council or village board voting to pass the protested petition.

A protest petition would be valid in any of these situations:



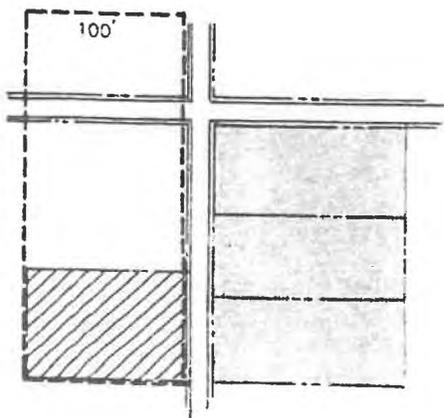
A

In A, more than 20% of the area proposed to be rezoned has signed.



B

In B, more than 20% of the area immediately adjacent and within 100 feet of the perimeter of the proposed rezoned area has signed.



C

In C, more than 20% of the area directly across the road and within 100 feet of the opposite roadway frontage has signed.

### Key

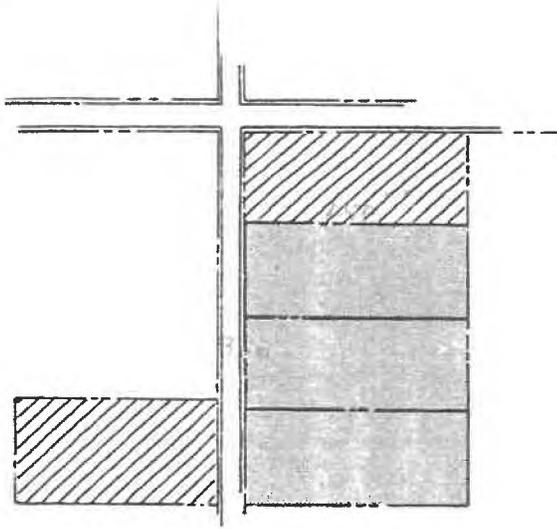


Area proposed to be rezoned



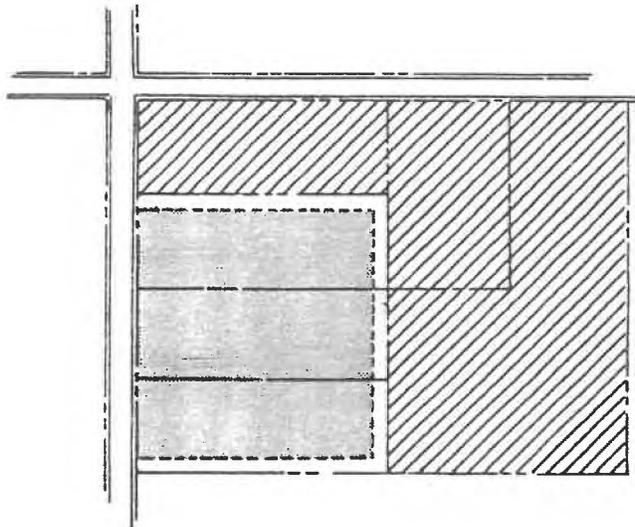
Area covered by protest petition

A rezoning petition would be invalid in these situations:



D

In D, neither the adjacent nor the opposite parcels constitute 20% or more of the total adjacent (and within 100 feet) or across the road (and within 100 feet) area.



E

In E, the rezone area has been protected by a buffer area, allowing none of the protesting properties to be adjacent; thus the indicated protests have no legal weight.

### Key



Area proposed to be rezoned



Area covered by protest petition

**Martenson & Eisele, Inc.**

1377 Midway Road, Menasha WI

**PLANNED UNIT DEVELOPMENT - THE COTTAGES AT HIGH CLIFF**

July 3, 2019

**Project Information:**

Property Description: Part of the Northeast ¼, Southeast ¼ and Southwest ¼ of the Southeast ¼ of Section 25, Township 20 North, Range 18 East, Village of Sherwood, Wisconsin.

Area: 11.3 acres / 492,228 Sq. Ft.

Existing Zoning: IR 1 Recreational

Proposed Zoning: IR 2 Residential District

**Summary:**

The Cottages at High Cliff is a proposed development that will consist of 22 duplex style buildings with a zero-lot line. The development will utilize an existing pond that will be converted to a stormwater management pond, with an additional proposed stormwater management pond at the west end of the development. The two ponds will handle all the stormwater water for the new development and will be submitted to the DNR for their approval. A wetland delineation has been completed and approved by the DNR and filling permits have been applied for. The development will have a 33' wide private street with sanitary sewer, water and storm sewer available to serve the new buildings, the street will be Outlot 1. The easterly access of the private street will be gated, to be used by emergency vehicles only. There are 5 other Outlots that will be utilized as green space. The proposed building footprint has a total of 2,300 sq. ft., with a living area of 1,625 sq. ft. per unit.

A review of the Village's Municipal Code of Ordinances reveals that the strict application of all the ordinances that apply to this development will make the development not feasible. Therefore, a Planned Unit Development (PUD) overlay is proposed.

The following items are proposed to be included in the Planned Unit Development (PUD) and would be revisions from the requirements that would be ordinarily applicable to this development:

**Section 24-24**

- I. Code Requirement: Private roads are prohibited and public Utilities are not allowed in a private street.

**Proposed PUD Requirement:** 33' wide private street, due to the long narrow shape of the parcel there is not enough room for a 66' wide street and lots on both sides.

There will be an easement granted to the Village for the public utilities that are designed within the private road.

**Section 24-24**

- S. Code Requirement: Minimum right-of-way width for local streets is 66 feet.

**Proposed PUD Requirement:** 33' wide private street

**Section 24-26**

- D. Code Requirement: Every lot shall front or abut a public street for at least 80 feet

**Proposed PUD Requirement:** Private street is proposed.

- F. Code Requirement: Lot depth shall not ordinarily exceed 2.5 times the width or be less than 120 feet

**Proposed PUD Requirement:** Lots 1-10, 16, 17, 22, 26-44 are less than 120' in width. Lot 22 has the smallest depth of 77'

**Section 24-26**

- G. Code Requirement: Width of lots shall conform to the requirements of Chapter 22 Zoning, R-2: 2-Family:

Area Square feet 10,000 (all lots are ordinance compliant)  
Average lot size is 13,410 sq.ft.

Width 90' (all lots are ordinance compliant) Average lot width is 110 ft.

Front yard setback 25'

Side yard setback min of 8' with a total of 20' for both sides (all lots are ordinance compliant with a minimum side yard of 10 feet and there is a minimum of 20' between buildings.)

Rear yard setback 25' (most lots are ordinance compliant)

**Proposed PUD Requirement:** 17' front yard setbacks to the right of way, 23' to the edge of the road and 33.5' to the centerline of street

**Proposed PUD Requirement:** Range of 15'-25' rear yard setback for Lots 16, 22, 34 & 44, with Lot 22 having the closest distance of 15'

Note: The lots that don't meet the rear yard setback are not abutting the residential lots to the north of this development.





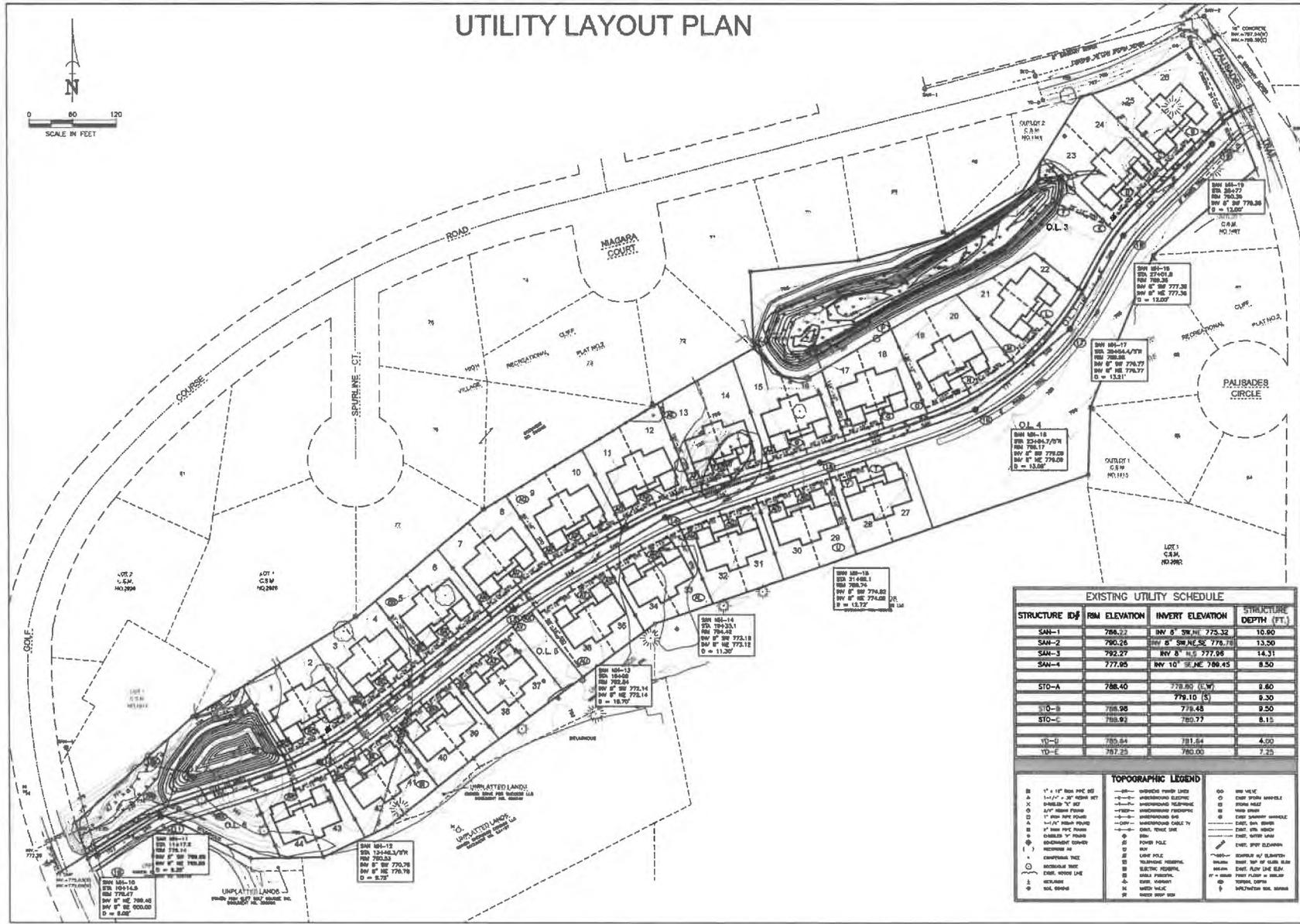
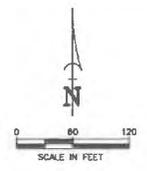








# UTILITY LAYOUT PLAN



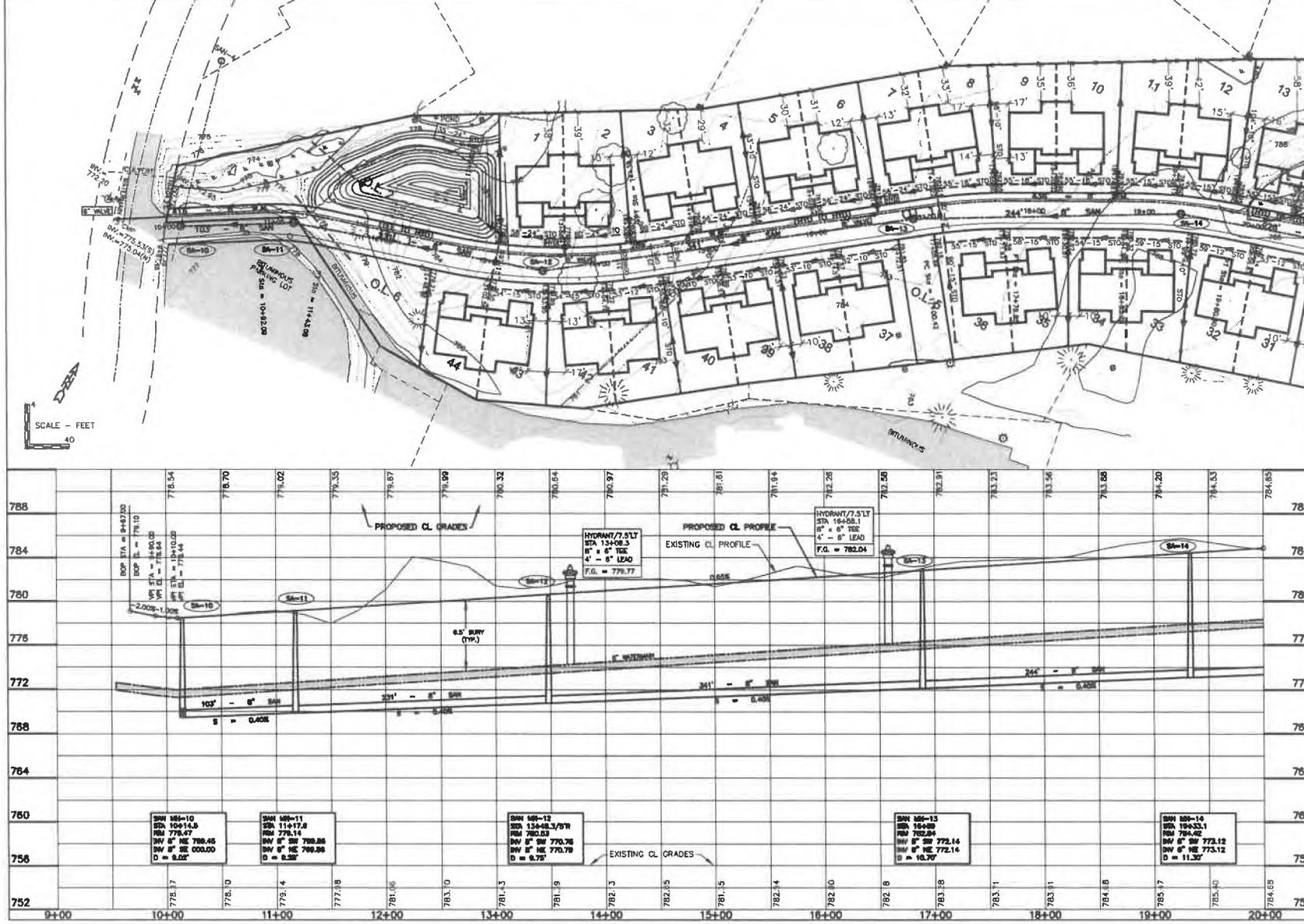
STRUCTURE ID#	RM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN-1	786.23	INV 6" SW NE 775.32	10.90
SAN-2	790.26	INV 6" SW NE SE 776.78	13.50
SAN-3	792.27	INV 6" NE 777.98	14.31
SAN-4	777.65	INV 10" SE NE 786.45	8.50
STO-A	788.40	778.80 (L.W)	9.60
STO-B	788.98	778.48	9.50
STO-C	788.92	780.77	8.15
TD-D	780.84	781.64	4.00
TD-E	787.25	780.00	7.25

BB	1" x 1" Box PVC 30'	—	UNDESIGNED FURROW LINE	OO	NEW V&E
AA	1-1/2" x 30' BOX 30'	—	UNDESIGNED TRENCH	OO	EXISTING OPENINGS
XX	30" DIA. 1" 30'	—	UNDESIGNED RELIEF	OO	EXISTING MANHOLE
2"	2" DIA. 30'	—	UNDESIGNED 2"	OO	EXISTING 30" MANHOLE
1"	1" DIA. 30'	—	UNDESIGNED 1"	OO	EXISTING 30" MANHOLE
1/2"	1/2" DIA. 30'	—	UNDESIGNED 1/2"	OO	EXISTING 30" MANHOLE
1/4"	1/4" DIA. 30'	—	UNDESIGNED 1/4"	OO	EXISTING 30" MANHOLE
1/8"	1/8" DIA. 30'	—	UNDESIGNED 1/8"	OO	EXISTING 30" MANHOLE
1/16"	1/16" DIA. 30'	—	UNDESIGNED 1/16"	OO	EXISTING 30" MANHOLE
1/32"	1/32" DIA. 30'	—	UNDESIGNED 1/32"	OO	EXISTING 30" MANHOLE
1/64"	1/64" DIA. 30'	—	UNDESIGNED 1/64"	OO	EXISTING 30" MANHOLE
1/128"	1/128" DIA. 30'	—	UNDESIGNED 1/128"	OO	EXISTING 30" MANHOLE
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1/633					









**Martenson & Eisele, Inc.**  
 1000 W. Wisconsin Ave.  
 Marshfield, WI 54852  
 www.martenson-eisele.com  
 715.731.0381 | 800.228.0381

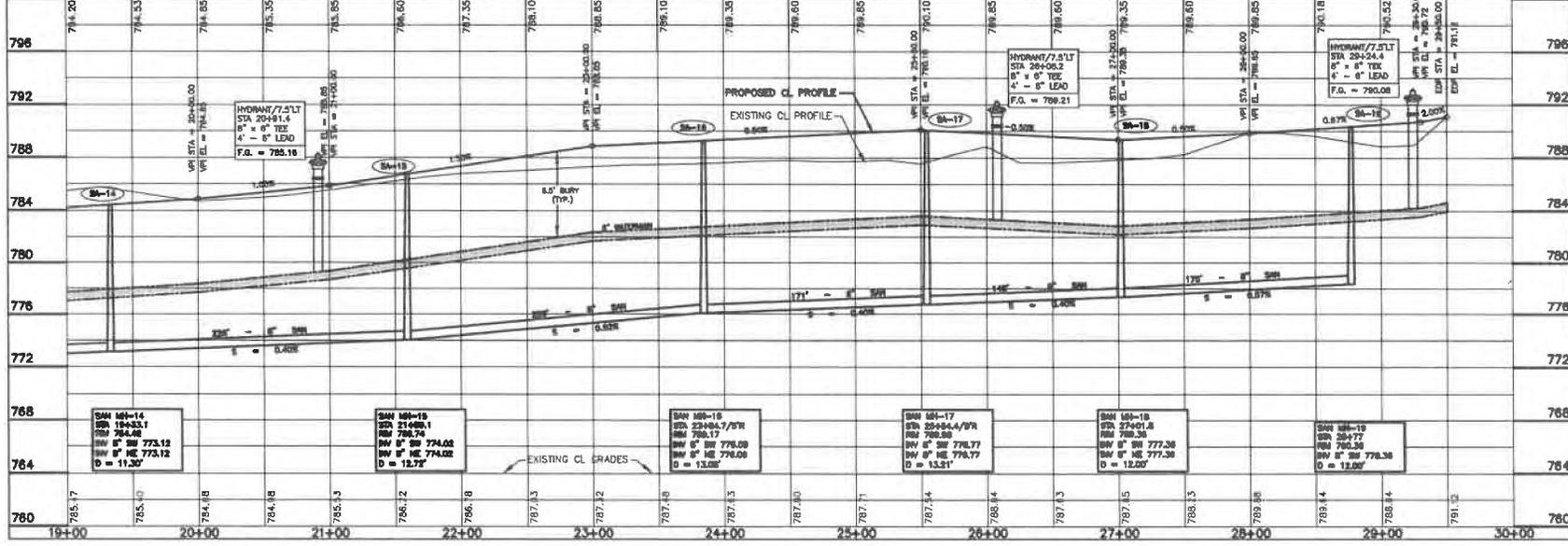
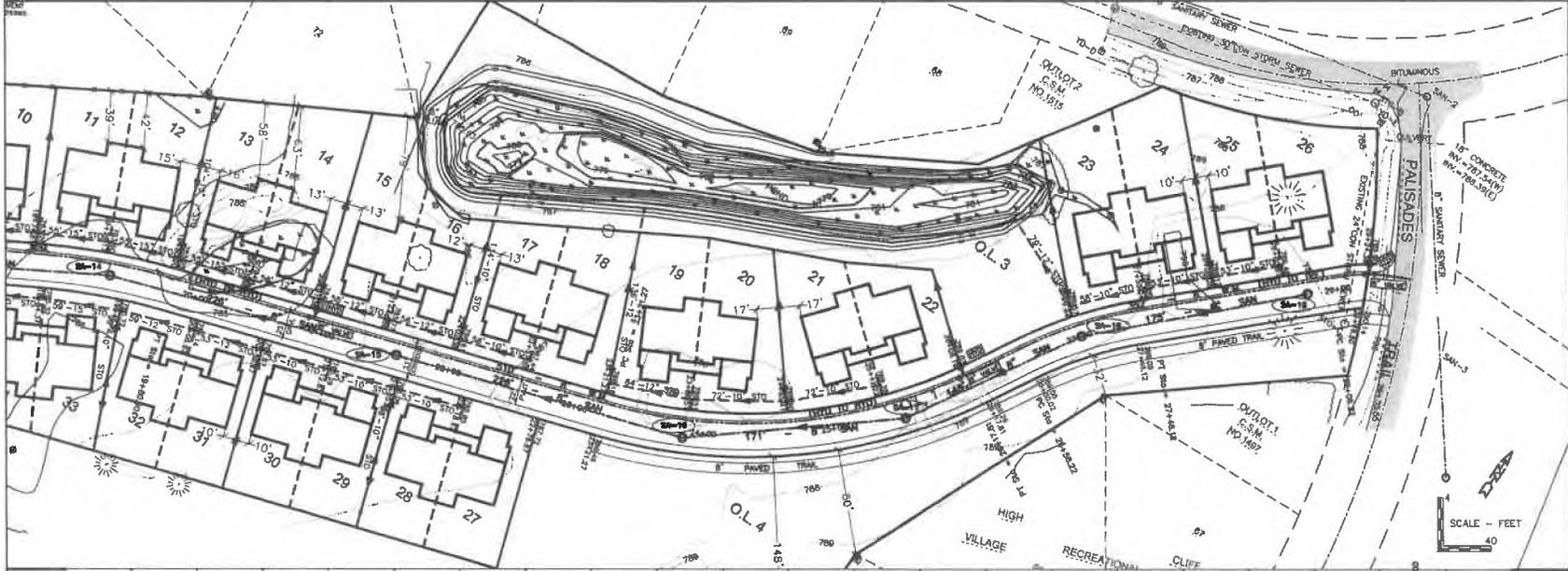
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**PLAN & PROFILE**  
**PUD DEVELOPMENT**  
**HIGH CLIFF GOLF COURSE**  
 VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN

**SCALE** 1"=250'-0" (1/4"=100')

**DATE** 12/26/2019

**DRAWING NO.** C3.1



**Martenson & Eisele, Inc.**  
 1777 Palisades  
 Marinette, WI 54902  
 www.martenson-eisele.com  
 920.731.0281 / 920.236.0391

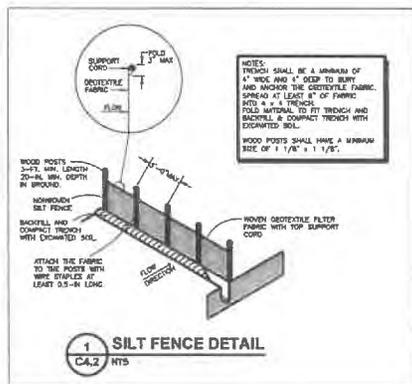
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**PLAN & PROFILE**  
**PUD DEVELOPMENT**  
**HIGH CLIFF GOLF COURSE**  
 VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN

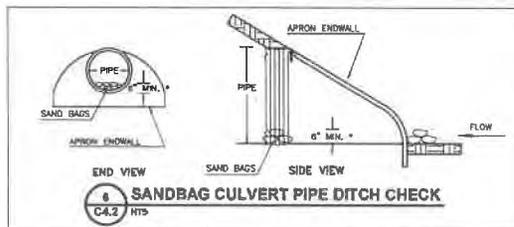
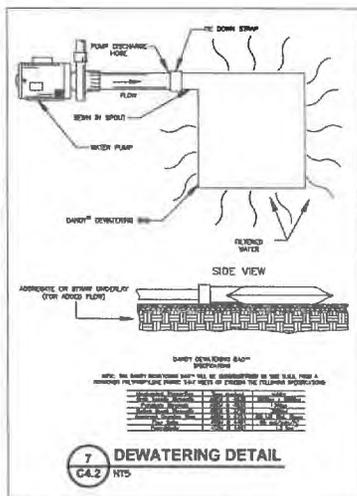
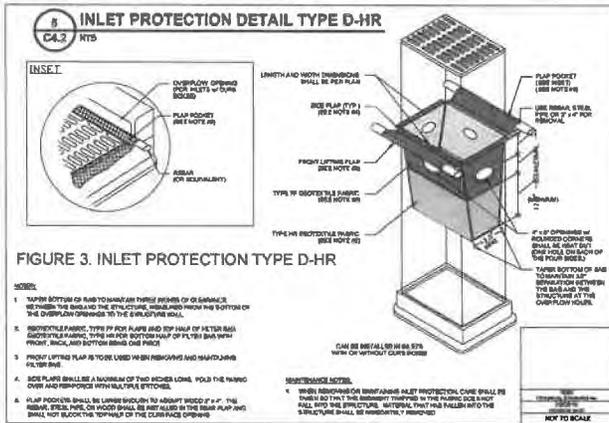
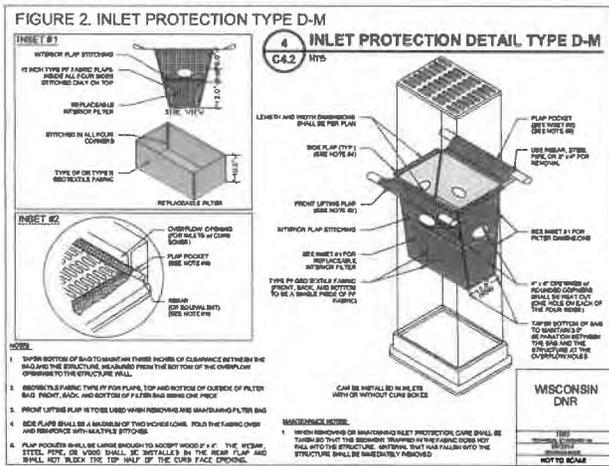
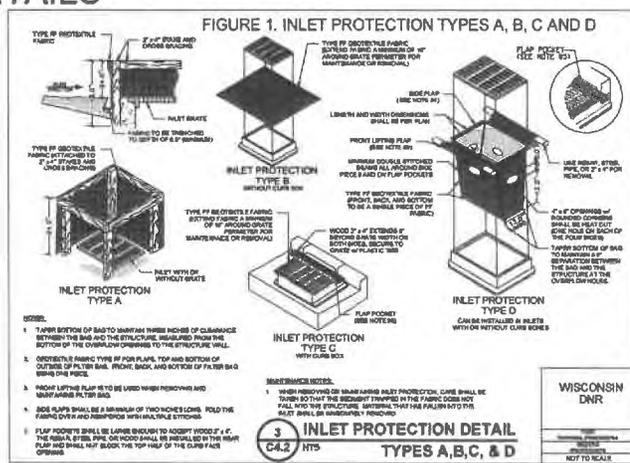
SCALE	DATE
BAR SCALE	12/26/2019
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DRAWING NO.	C3.2



# EROSION CONTROL DETAILS



**NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.**



**Martenson & Eisele, Inc.**  
Professional Engineers  
Environmental Engineering  
1337 W. Lincoln Ave.  
Madison, WI 53703  
www.martenson-eisele.com  
608.733.0331 1.800.226.0281

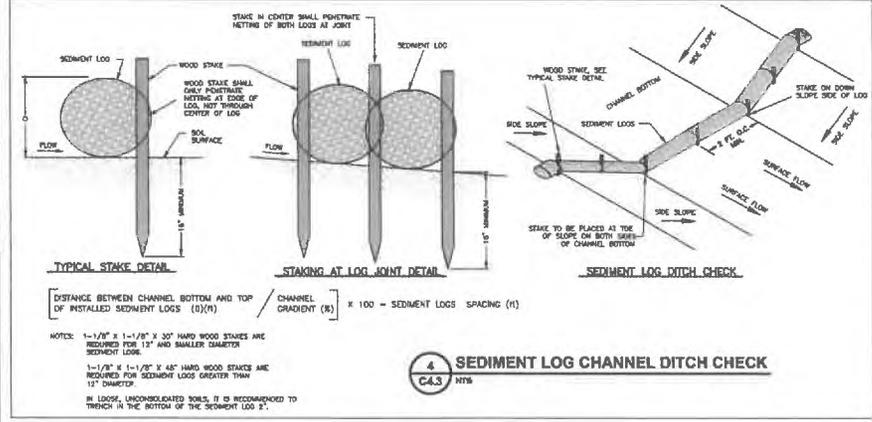
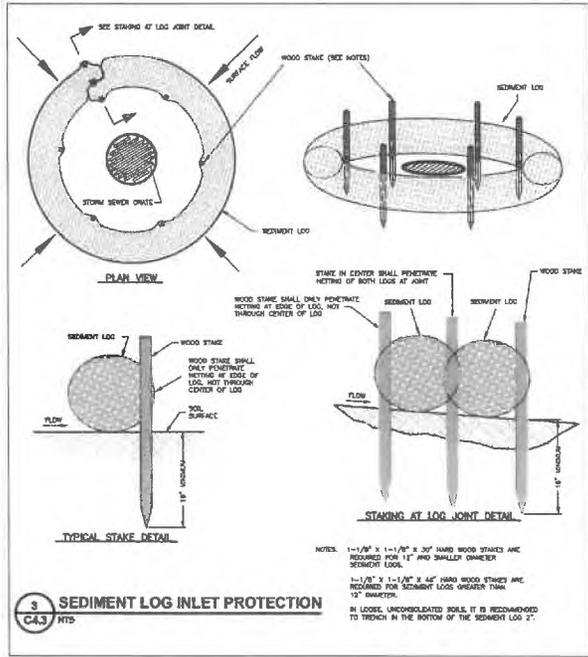
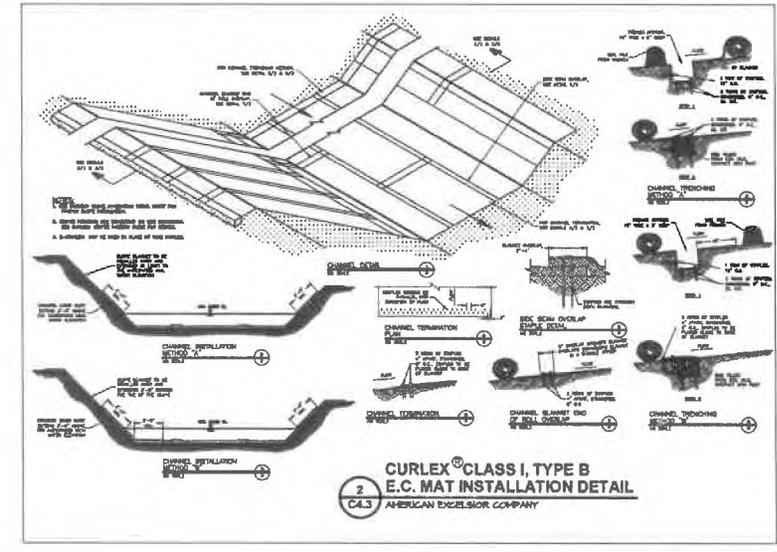
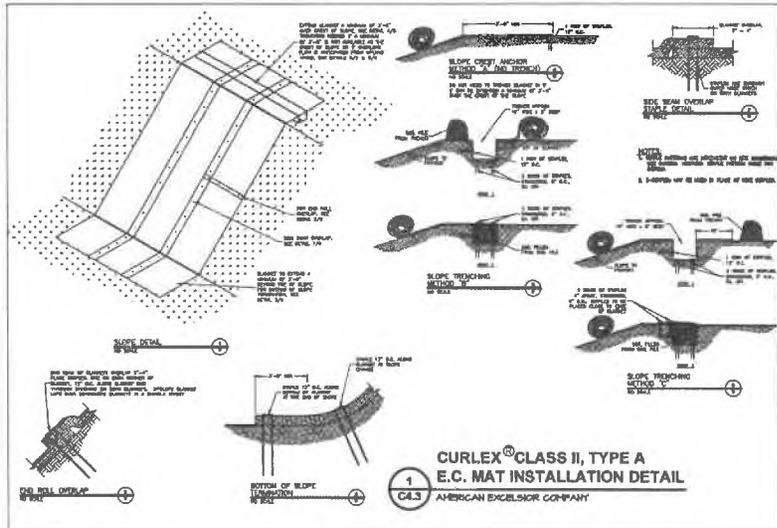
DESIGNED BY	CHECKED BY	APPROVED BY	DATE

**EROSION CONTROL DETAILS**  
**PUD DEVELOPMENT**  
**HIGH CLIFF GOLF COURSE**  
VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN

**SCALE:** BAR SCALE 1/2"=1'-0"  
**DATE:** 12/26/2019  
**PROJECT NO.:** 1-1255-001-06.dwg  
**DRAWING NO.:** C4.2

NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.

# EROSION CONTROL DETAILS



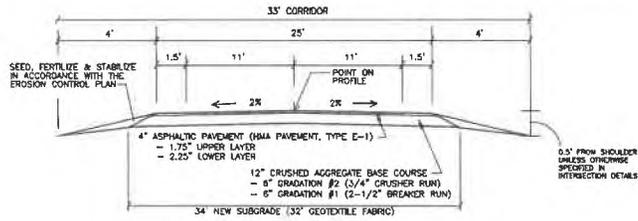
**Martenson & Eisele, Inc.**  
 Environmental Engineering  
 1377 W. Lincoln Ave.  
 Muskegon, MI 49502  
 www.martenson-eisele.com  
 231-221-1100 FAX 231-221-1101

DESIGNED BY	CHECKED	APPROVED	DATE

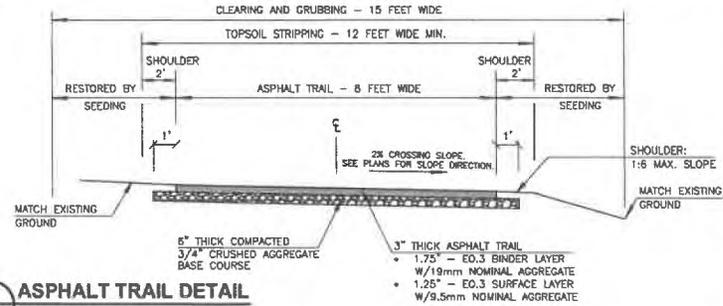
**EROSION CONTROL DETAILS**  
**PUD DEVELOPMENT**  
**HIGH CLIFF GOLF COURSE**  
 VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	12/20/2019
PROJECT FILE #	
1-1289-001a.dwg	
DRAWING NO.	
C4.3	

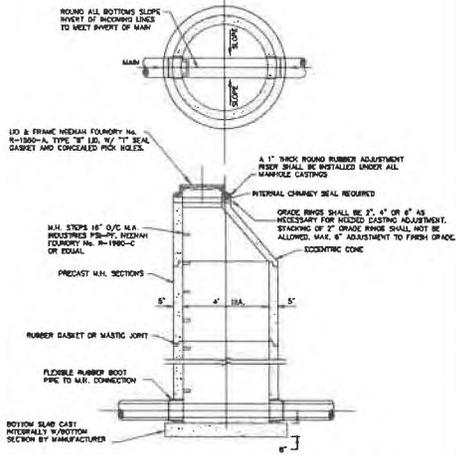
# STANDARD DETAILS



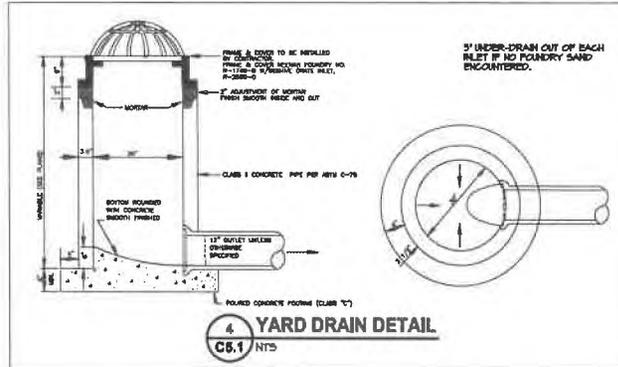
**1 RURAL STREET TYPICAL SECTION**  
C6.1 NTS



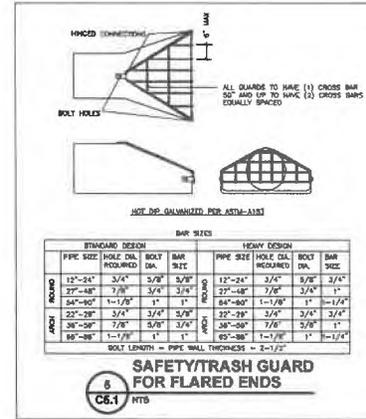
**2 ASPHALT TRAIL DETAIL**  
C6.1 NTS



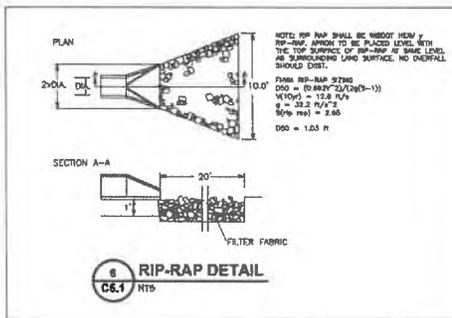
**3 STANDARD PRECAST SANITARY M.H.**  
C6.1 NTS



**4 YARD DRAIN DETAIL**  
C6.1 NTS



**5 SAFETY/TRASH GUARD FOR FLARED ENDS**  
C6.1 NTS



**6 RIP-RAP DETAIL**  
C6.1 NTS

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920.731.0281 1.800.238.0381

DRAWN BY	CHECKED	DATE	APPROVED	
			DATE	DATE

**STANDARD DETAILS**  
PUD DEVELOPMENT  
HIGH CLIFF GOLF COURSE  
VILLAGE OF SHERWOOD, CALUMET COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	12/26/2019
COMPUTER FILE	
1-1263-001.dwg	

DRAWING NO.  
C6.1





July 8, 2020

EXE-NE-2020-8-02050

Drive For Success, LLC.  
Mike Krueger  
W5055 Golf Course Road  
Sherwood, WI 54169

RE: Artificial Wetland Exemption Determination for an area described as Wetlands 1, 2, 3, 5, and pond 2, located in the NE1/4 of the SE1/4 of Section 25, Township 20 North, Range 18 East, Village of Sherwood, Calumet County

Dear Mr. Krueger:

This letter is in response to your request for an artificial wetland exemption determination for the above mentioned wetlands.

According to 281.36 (4n), State Statutes, a landscape feature where hydrophytic vegetation may be present as a result of human modification to the landscape or hydrology and for which no definitive evidence exists showing a prior wetland or stream history before August 1, 1991, may be exempt from state wetland regulations. The following types of artificial wetlands cannot be exempted from state wetland regulation:

- 1) a wetland that serves as a fish spawning area or that is passage to a fish spawning area
- 2) a wetland created as a result of a wetland mitigation requirement.

In addition, DNR must also consider whether the artificial wetland is providing significant flood protection to adjacent or downstream properties and infrastructure, and/or significant water quality functions to adjacent or downstream water bodies.

The Department reviewed the following materials to aid in our exemption determination:

- The request narrative
- Historic Maps, including the Original Land Survey Plat, Bordner Survey, USGS topographic Quad map, and soil mapping.
- Aerial photographs, including the 1937/8 era photograph, a pre-construction photograph, and a post-construction photograph.
- Site photographs that show different angles and views of the wetland

Below is a summary of our findings:

#### Request Narrative

According to the request narrative, wetlands 1, 2, 3, 5, and pond 2 are the focus of this artificial wetland exemption request. Wetland 1 (0.025 acres) and 2 (0.01 acres) are wetlands created as a result of pond, berm, swale construction around 1991-1992. Wetland 3 (0.016 acres) and 5 (0.003

acres) was created as a result of nearby grading and development for residential and golf course development. Pond 2 was excavated in uplands for a golf course hazard around 1990-1991. The future use would be condominiums, which includes a drainage plan with stormwater ponds and swales to maintain flood and stormwater storage functions on site.

#### Historic Map Review

- Original Land Survey Plat. The original land survey indicates stream along the western border of the site.
- Bordner Survey. The Bordner survey indicates the area is a cleared crop field.
- USGS Topographic Quad map: The USGS Quad map indicates a stream is indicated on the western border of the site. Golf Course ponds are shown on 1996-2018 maps.
- Soil Maps: The soil maps indicate the area is Manawa-Kewaunee-Poygan complex, 0-4% slopes, which is a partially poorly drained soil.

#### Aerial Photograph Review

- 1937/38 era aerial photograph. The 1937/38 aerial photograph shows the area is a crop field without any distinct or consistent wetland signatures in the requested areas.
- Pre-construction aerial photograph: The 1950-1985 aerial photographs show the area is a crop field that eventually becomes a golf course without any distinct or consistent wetland signatures in these requested areas. residential development expands in the surrounding area.
- Post-construction aerial photograph: The 1986 aerial photo shows the apartments were constructed near wetland 5 area. The 1990 aerial photo shows pond 2 was constructed. The 1991-1992 aerial photo shows that pond 1 was constructed. The site continues to be a golf course up until present day. Residential development continues to expand in the surrounding areas.

#### Site Photographs

The site photographs show wetland 1, 2 are small swales around a man-made pond and berms on a golf course. Wetland 3 is a small depression between residential and golf course fill areas. Wetland 5 is a depression near golf course-apartment complex. Pond 2 is a small man-made pond feature.

#### Conclusion:

- Based upon the information provided above, the wetland areas identified as Wetland 1, 2, 3, 5 and pond 2 lacked a wetland history prior to August 1, 1991 and fulfills all artificial wetland exemption standards. **Therefore, Wetland areas 1, 2, 3, 5 and pond 2 are exempt from state wetland regulations.** Please see the attached figure for reference.

This letter describes DNR's decision regarding the jurisdictional status of Wetland areas 1, 2, 3, 5 and pond 2 and is only valid for state jurisdictional purposes. For decisions regarding the federal jurisdictional status of Wetland areas 1, 2, 3, 5 and pond 2, you will need to contact the U.S. Army Corps of Engineers.

If you have any questions about this determination, please contact me at (715) 492-0200 or email Ryan.Pappas@wisconsin.gov.

Sincerely,



Ryan Pappas  
Wetland Exemption Specialist

cc: U.S. Army Corps of Engineers  
Zoning Office  
Consultant



### Appendix B WETLAND LOCATION MAP

W5055 Golf Course Road Prop Shop  
Sherwood, WI 54169  
For: Drive Fore Success LLC

#### Legend

- Wetlands
- Boring Locations
- Project Boundary

WETLAND AREA 1 = 1,871 S.F. (0.025 AC)  
 WETLAND AREA 2 = 423 S.F. (0.010 AC)  
 WETLAND AREA 3 = 888 S.F. (0.016 AC)  
 WETLAND AREA 4 = 4,807 S.F. (0.108 AC)  
 WETLAND AREA 5 = 190 S.F. (0.003 AC)

POND 1 = 24,828 S.F. (0.570 AC)  
 POND 2 = 3,412 S.F. (0.078 AC)  
 POND 3 = 911 S.F. (0.014 AC)

TOTAL SITE AREA = 493,686 S.F. (11.334 AC)

NOTE: AREALS ARE NOT TIED TO COUNTY COORDINATES AND PHOTOS ARE APPROXIMATE. (FOR REFERENCE USE ONLY)

The base map information was obtained from Census County Geographic Information Systems. This use is intended to be used as a reference. They assume no liability for the accuracy of this map or its use or output.



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 101 Wilson Road  
 Wisconsin 53199  
 (262) 781-1111  
 www.martenson-eisels.com

Quality  
 Excellence  
 Integrity  
 Innovation

## Randy Friday

---

**From:** Pappas, Ryan J - DNR <Ryan.Pappas@wisconsin.gov>  
**Sent:** Wednesday, July 08, 2020 10:09 AM  
**To:** Jack Richeson; krueger.mike22@gmail.com  
**Cc:** Michael S Siewert; Daniel Ma; Randy Friday  
**Subject:** High Cliff Golf Course Condos Development. Artificial Wetland Exemption, Village of Sherwood, Calumet County  
**Attachments:** High Cliff Golf Course, Artificial WER Letter, 2020-02050.pdf

Good Morning Jack and Mike,

Thank you for submitting an artificial wetland exemption request for a few wetland areas on the High Cliff Golf Course, in Sherwood, Calumet County. Please see the attached letter in reference to your request. The requested wetland areas were determined to be exempt from state wetland regulations. Please take the time to review the attached letter and let me know if you have any questions. Thank you and have a nice day!

Ryan

**We are committed to service excellence.**

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

Ryan Pappas  
Phone: (715) 492-0200  
[Ryan.Pappas@wisconsin.gov](mailto:Ryan.Pappas@wisconsin.gov)

**From:** Jack Richeson <jackr@martenson-eisele.com>  
**Sent:** Tuesday, July 7, 2020 9:53 AM  
**To:** Pappas, Ryan J - DNR <Ryan.Pappas@wisconsin.gov>  
**Cc:** Michael S Siewert <mikes@martenson-eisele.com>; Daniel Ma <danielm@martenson-eisele.com>  
**Subject:** RE: High Cliff Golf Course Condos Development. Artificial Wetland Exemption, -HOLD, Village of Sherwood, Calumet County

Ryan,

Regarding your request for more storm water/flooding information, we have designed two wet detention basins and a system of drains and swales to control the site runoff. Our proposed drainage plan and stormwater control narrative is attached. The existing pond on the northeast end of the site currently discharges offsite onto neighboring properties. We will be enlarging the pond and routing the runoff south through our site to the proposed southwest pond we will be constructing to reduce those flows. The existing outlet onto the neighboring properties will remain only as an extra overflow during larger storms. The southwest pond will provide additional storage and flood control before the site runoff is discharged offsite. These ponds will maintain the flood storage provided by the previous wetlands. All runoff currently ends up flowing into the stream in the southwest corner of the site. The proposed drainage plan would bypass some flows around the neighboring residential units, but all runoff will still end up in the same stream. Downstream of our site the stream flows south through mainly State Park property to Lake Winnebago. We have not submitted an NOI application for this project yet, but we will soon after a few remaining zoning questions are resolved with the Village. The site will meet all NR 151 requirements for peak flow control and TSS removal.

Please let us know if you need any additional information or have any further questions.

Regards,

**Jack J. Richeson, P.E.**  
Project Engineer IV  
[jackr@martenson-eisele.com](mailto:jackr@martenson-eisele.com)



Visit us at [www.martenson-eisele.com](http://www.martenson-eisele.com)

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1377 Midway Road, Menasha, WI 54952  
Phone 920-731-0381  
Cell 920-202-1277

The information contained in this email is for the person or entity to which it is addressed and may be privileged or confidential. If you receive this transmission in error, please notify the sender immediately and delete the message and any attachments. Thank you for your cooperation.

**From:** Daniel Ma <[danielm@martenson-eisele.com](mailto:danielm@martenson-eisele.com)>  
**Sent:** Monday, July 6, 2020 3:11 PM  
**To:** Jack Richeson <[jackr@martenson-eisele.com](mailto:jackr@martenson-eisele.com)>  
**Cc:** Michael S Siewert <[mikes@martenson-eisele.com](mailto:mikes@martenson-eisele.com)>  
**Subject:** FW: High Cliff Golf Course Condos Development. Artificial Wetland Exemption, -HOLD, Village of Sherwood, Calumet County

Jack,

Just received this from the DNR.

**From:** Pappas, Ryan J - DNR <[Ryan.Pappas@wisconsin.gov](mailto:Ryan.Pappas@wisconsin.gov)>  
**Sent:** Monday, July 6, 2020 3:04 PM  
**To:** Daniel Ma <[danielm@martenson-eisele.com](mailto:danielm@martenson-eisele.com)>; [krueger.mike22@gmail.com](mailto:krueger.mike22@gmail.com)  
**Subject:** High Cliff Golf Course Condos Development. Artificial Wetland Exemption, -HOLD, Village of Sherwood, Calumet County

Good Afternoon Daniel and Mike,

Thank you for submitting an artificial wetland exemption request for a few wetland areas located on the High Cliff Golf Course, in the Village of Sherwood, Calumet County. I have conducted an initial review of the application and have determined that additional information is needed in order to determine if the proposed project will meet applicable state wetland standards. The request application will be placed on hold until we receive all of the requested materials, or the request is otherwise satisfied. Please provide the following request materials:

1). **Please provide a more detailed flooding/stormwater protection narrative.** Due to my previous involvement on site last year, it is known that flooding/stormwater storage is a concern that adjacent and downstream property owners have with development on the parcel. In the review of artificial wetland exemption requests, DNR must take into consideration if the requested wetland feature serves a significant function protecting adjacent or downstream

properties from flooding, or if these flood/stormwater storage functions and values would be maintained on the subject property. Due to these nearby concerns, can you please provide a more detailed narrative describing whether or not the landscape feature protects adjacent or downstream property or infrastructure from flooding, or is providing significant water quality protection to downstream waters or wetlands. If the landscape feature does provide significant protections to flooding or water quality, please describe how these functions will be maintained on the landscape.

Please provide the above information or details to me as soon as possible so that I can continue to process your request. If you have any questions or concerns, please feel free to give me a call at 715-492-0200 or email [Ryan.Pappas@Wisconsin.gov](mailto:Ryan.Pappas@Wisconsin.gov) . Thank you and have a great day!

Ryan

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Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

Ryan Pappas

Water Management Specialist-Waterways and Wetlands

Wisconsin Department of Natural Resources

1155 Pilgrim Road

Plymouth, WI 53073

Phone: (715) 492-0200

[Ryan.Pappas@wisconsin.gov](mailto:Ryan.Pappas@wisconsin.gov)



## Randy Friday

---

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**Attachments:** High Cliff Golf Course, Artificial WER Letter, 2020-02050.pdf  
**Categories:** Red category

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Ryan

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Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

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Phone: (715) 492-0200  
[Ryan.Pappas@wisconsin.gov](mailto:Ryan.Pappas@wisconsin.gov)

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**To:** Pappas, Ryan J - DNR <Ryan.Pappas@wisconsin.gov>  
**Cc:** Michael S Siewert <mikes@martenson-eisele.com>; Daniel Ma <danielm@martenson-eisele.com>  
**Subject:** RE: High Cliff Golf Course Condos Development. Artificial Wetland Exemption, -HOLD, Village of Sherwood, Calumet County

Ryan,

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May 26, 2020

WIC-NE-2020-8-01589

High Cliff Public Golf Course, Inc.  
Dan Rippl  
W5055 Golf Course Road  
Sherwood, WI 54169

RE: Wetland Delineation Report for property located in the NE1/4 of the SE1/4 of Section 25,  
Township 20 North, Range 18 East, Town of Harrison, Calumet County

Dear Mr. Rippl:

We have received and reviewed the wetland delineation report prepared for the above mentioned site by Martenson & Eisele, Inc. This letter will serve as confirmation that the wetland boundaries, as shown on the enclosed wetland delineation figure are acceptable. This finding is based upon a remote review of the wetland delineation materials provided. Any filling or grading within these areas will require DNR approvals. Our wetland confirmation is valid for five years unless altered site conditions warrant a new wetland delineation be conducted. Be sure to send a copy of the report, as well as any approved revisions, to the U.S. Army Corps of Engineers.

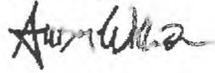
In order to comply with Chapter 23.321, State Statutes, please supply the department with a polygon shapefile of the wetland boundaries delineated within the project area. Please do not include data such as parcel boundaries, project limits, wetland graphic representation symbols, etc. If internal upland polygons are found within a wetland polygon, then please label as UPLAND. The shapefile should utilize a State Plane Projection, and be overlain onto recent aerial photography. If a different projection system is used, please indicate what system the data are projected to. In the correspondence sent with the shapefile, please supply a brief description of each wetland's plant community (eg: wet meadow, floodplain forest, etc.). Please send these data to Calvin Lawrence (608-266-0756, or [calvin.lawrence@wisconsin.gov](mailto:calvin.lawrence@wisconsin.gov)).

If you are planning development on the property, you are required to avoid take of endangered and threatened species, or obtain an incidental take authorization or permit, to comply with the state's Endangered Species Law. To insure compliance with the law, you should submit an endangered resources review form (Form 1700-047), available at <http://dnr.wi.gov/topic/ERReview/Review.html>. The Endangered Resources Program will provide a review response letter identifying any endangered and threatened species and any conditions that must be followed to address potential incidental take.

In addition to contacting WDNR, be sure to contact your local zoning office and U.S. Army Corps of Engineers to determine if any local or federal permits may be required for your project.

If you have any questions, please contact me at (608) 235-2057 or email [Allison.Willman@wisconsin.gov](mailto:Allison.Willman@wisconsin.gov).

Sincerely,



Allison Willman  
Wetland Identification Specialist

cc: Ryan Huber, Project Manager, U.S. Army Corps of Engineers  
Wally Sedlar, Martenson & Eisele, Inc.  
Ryan Pappas, DNR Water Management Specialist



WDNR CONFIRMED WETLAND BOUNDARIES ARE LOCATED WITHIN THE LIMITS OF THE PROJECT BOUNDARY.

### Appendix B WETLAND LOCATION MAP

W5055 Golf Course Road Prop Shop  
Sherwood, WI 54169  
For: Drive Fore Success LLC

**Legend**

-  Wetlands
-  Boring Locations
-  Project Boundary

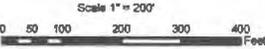
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WETLAND AREA 3 = 688 S.F. (0.016 AC)  
WETLAND AREA 4 = 4,607 S.F. (0.106 AC)  
WETLAND AREA 5 = 150 S.F. (0.003 AC)

POND 1 = 24,828 S.F. (0.570 AC)  
POND 2 = 3,412 S.F. (0.078 AC)  
POND 3 = 611 S.F. (0.014 AC)

TOTAL SITE AREA = 493,888 S.F. (11.334 AC)

NOTE: AERIALS ARE NOT TIED TO COUNTY COORDINATES AND PHOTOS ARE APPROXIMATE. (FOR REFERENCE USE ONLY)

This base map information was obtained from Calumet County Geographic Information System files and is intended to be used as a reference. They assume no liability for the accuracy of this map or its use or misuse.



**Martenson & Eisele, Inc.**  
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me@martenson-eisele.com  
608.721.0281 1.800.726.0281  
arqjia11326001gls.mxd\_05/07/2020

Planning  
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# Here are Twin Cities golf courses that have closed since 2000

Thompson Oaks Golf Course in West St. Paul closed on Feb. 26.

Here are 31 golf courses in the seven-county metro area that have closed since 2000 (note: this list was updated in November 2019 and the parameters revised in August 2017):

All Seasons, Cottage Grove

Begin Oaks, Plymouth

The Bridges of Mounds View

Brockway, Rosemount

Carriage Hills, Eagan

Cedar Hills, Eden Prairie

Country Air, Lake Elmo

Country View, Maplewood

Fred Richards Executive Course, Edina

Hampton Hills, Plymouth

Hayden Hills, Dayton

Hillcrest, St. Paul

Hollydale, Plymouth

KateHaven, Blaine

Lakeview, Orono

Lone Pine, Prior Lake

Maple Hills, Maplewood

Meadowwods, Minnetonka

Minnetonka Country Club, Shorewood

Mississippi Dunes, Cottage Grove

Mulligan Masters, Lake Elmo

Oakdale Par 3, Oakdale

Orchard Gardens, Burnsville

Parkview, Eagan

Red Oak, Minnetrista

Tartan Park, Lake Elmo (closed December 2015. The grounds were converted into The Royal Golf Club, which opened in 2018.)

Thompson Oaks, West St. Paul

Valley View, Belle Plaine

Woodbury Par 3, Woodbury

Woodland Creek, Andover

*List compiled by Pioneer Press copy editor and Minnesota golf historian Joe Bissen. A full list of all Minnesota golf courses abandoned since 2000 can be found at his web site, [ForeGoneGolf.com](http://ForeGoneGolf.com).*

# Apple Valley Golf Course redevelopment likely to feature fewer homes than first proposed



The outside of the Apple Valley Golf Course's main entrance on Nov. 16, 2019. (Caitlin Anderson / Pioneer Press)

By **CAITLIN ANDERSON** | [andersonc@pioneerpress.com](mailto:andersonc@pioneerpress.com) |

The future of the Apple Valley Golf Course — which the owner wants to turn into housing — has landed in the city's lap.

Earlier this month, Apple Valley's planning commission denied the owner's land-use request for low- and medium-density housing on the 23-acre course. Neighbors are concerned the housing will be too dense.

Course owner Joel Watrud wants to change the land designation from its current private recreation to a mix of low and medium density to attract developers. The change could lead to a blend of single-family homes, townhouses or low-rise apartments.

Neighbors are glad to have a say in what becomes of the course, said Apple Valley resident Jon Kotek, who lives next to the golf course.

Watrud was "not happy" with the planning commission's decision, but now the process is out of his hands, said Peter Coyle, a land-use attorney representing the owner.

## HOW DID WE GET HERE?

It's a tough time for metro-area golf courses and Watrud put his up for sale. He first asked the city for a land-use change in June, saying its current designation deterred potential developers, Coyle said. Watrud originally proposed medium- and high-density housing. Neighbors objected.

When the planning commission denied the proposal, it moved to the city council. Watrud revised the plan to only low- and medium-density housing before the council even took it up.

The city council asked the planning commission to review the revised plan. In November, the commission denied it. Now they're looking for a recommendation on the course's future: "What is the Apple Valley Golf Course going to be if it's not a golf course?" said Bruce Nordquist, community development director for the city.

## COMMUNITY CONCERNS

The main concern of neighbors was the chance of apartments at a site mostly surrounded by single-family homes.

Low density is typically two to six housing units per acre, medium is six to 12 units per acre and high is 12-plus.

"Having apartments there would be really sad," said Apple Valley resident Kathy Lundin, whose back yard is near the golf course's first hole. "To think that right in my back yard could be a three-story structure is just so hard."

The owner's newest proposal included a half-acre for low density and 22.5 acres for medium density. Coyle said the plan would most likely be townhouses, not apartments.

### **RELATED: Here are Twin Cities golf courses that have closed since 2000**

Other neighborhood concerns included increased traffic, a loss of green space and the impact on their homes' values.

## SO, WHAT'S NEXT?

Apple Valley would join the growing list of now-closed golf courses in the metro eyed for development.

There are the Mississippi Dunes in Cottage Grove, Thompson Oaks in West St. Paul and Hillcrest Golf Club in St. Paul. And two former Eagan golf courses — Carriage Hills and Parkview — have turned into residential areas.

Apple Valley staff will present at a Dec. 4 hearing two likely options for the golf course: an all-low-density designation or a "low-density flex" of three to eight units per acre, Nordquist said.

# Homeowners Will Pay The Price For A Backyard Golf Course, One Way Or Another



Forbes  
Real Estate  
Council

*This article is in reference to Golf Communities and the HOA that were built around them. However, it does speak to the condition of the industry and the problems that occur when Courses fail. Our HOA will require membership, which these do not. Below are some excerpts from the article...*

“Most everyone is familiar with the term “dead mall” to refer to a shopping center that has become stagnant and lost its anchors and many of its tenants. Now, suburban America is experiencing a new death right in their own backyards, one that is arguably much more difficult to address — and homeowners will be the ones paying the price, either in cash or a substantial loss of equity in their homes”.

If you hadn't heard of “dead golf course” before, you have now. Homeowners and HOAs across the U.S. are dealing with the relatively recent upswing in golf course failures. While the root cause of the business failures is still being argued (explanations range from the Great Recession to weather to Tiger Woods' fall from grace to the athletic tastes of millennials), one thing is certain, fewer people golf today. With fewer golfers paying to play the courses become unworkable, and ultimately, the homeowners surrounding courses are faced with the unknown.

“The business plan for these courses assumed some level of membership for most people who purchased in the communities to support and maintain the facilities”. *Our proposed Cottages at High Cliff REQUIRE IT.*

“Living in any community entails some level of commitment on every homeowner's part to participate and contribute to the overall value of the neighborhood. Whether it is shopping locally, keeping the lawn cut or maintaining our homes, in a neighborhood, we each have that responsibility to one another to prevent property values from declining. This is especially true in golf course communities”.

“Once closed and left untended for as little as a year, it can cost several million dollars to repair and reopen a course — nature reclaims unmaintained land quickly, and home values can drop as much as 50% within weeks of a course closing. As the public becomes

wiser to the issue, many homeowners are experiencing a decline in value as a course begins to show signs of its death spiral”.

“Do they buy the facility or enter into some other arrangement with the owners to maintain the course and clubhouse, or do they resign themselves to having the land be developed into more homes in their backyards? Some have looked to their local parks and recreation departments for help that has been slow to materialize, if at all.”

“You can’t create a win-win by pointing fingers and not being open to a give and take. If the course is still actively operating, reach out and offer a forum or even just an ear to bounce ideas. Your community will be much better for it.”

“I predict the sheer number of communities dealing with this issue will number into the thousands over the next few years. Homeowners will be the ones who pay the price, either by finally supporting the course and the club in their backyard or by the loss in the value of their homes”.

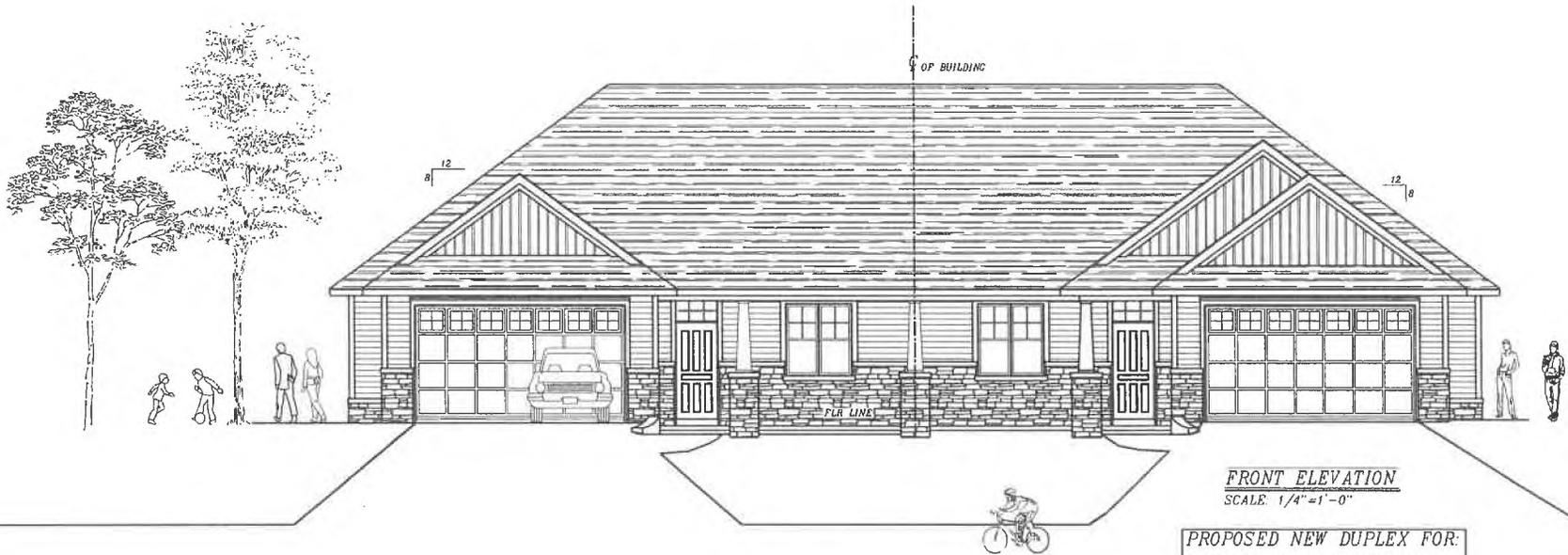




# Elevations



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

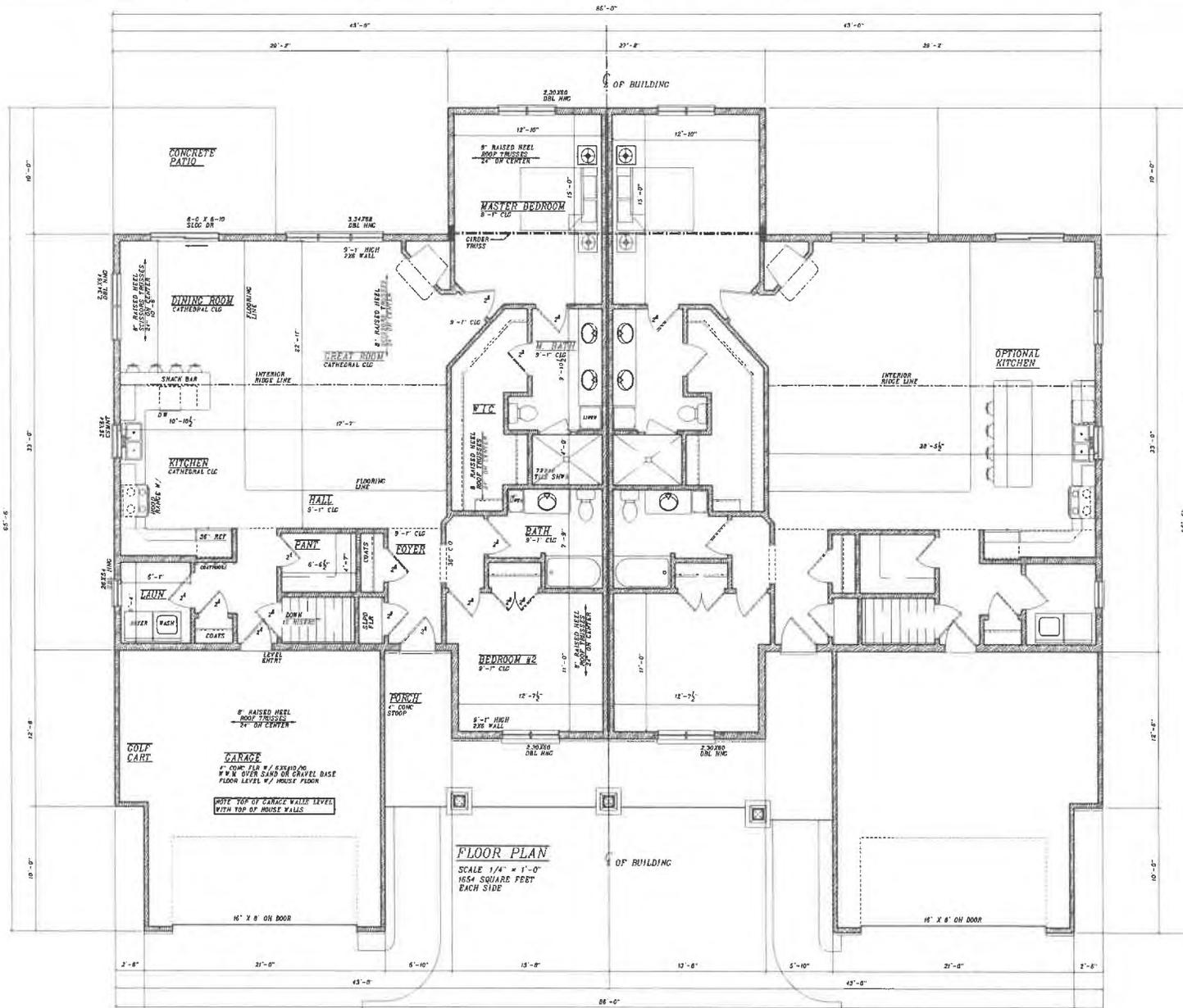
PROPOSED NEW DUPLEX FOR:  
HIGH CLIFF COLF COURSE

PROPOSED NEW DUPLEX FOR  
HIGH CLIFF COLF COURSE  
SHERWOOD WISCONSIN  
SHEET 1.1 DATE 10/15/16

JEFF HIBBARD DESIGN SERVICES  
1004 OLDE ONEIDA STREET  
APPLETON, WI 54915  
PHONE: (920) 731-7365



# Floor Plans

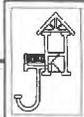


PROPOSED NEW DUPLEX FOR:  
HIGH CLIFF COLF COURSE

NOTE PRELIMINARY PLAN  
(NOT FOR CONSTRUCTION)

PROPOSED NEW DUPLEX FOR  
HIGH CLIFF COLF COURSE  
SHERWOOD WISCONSIN  
SHEET # 2 DATE: 10/15/78

JEFF HIBBARD DESIGN SERVICES  
1004 OLDE ONEIDA STREET  
APPLETON, WI 54915  
PHONE (920) 731-7365



## **Randy Friday**

---

**From:** Dan Rippl <dan@highcliffgolfandeventcenter.com>  
**Sent:** Tuesday, November 26, 2019 12:49 PM  
**To:** Randy Friday  
**Subject:** Please include this in our presentation  
**Attachments:** CAHC Sell Sheet.docx

--

Dan Rippl  
President/CEO  
High Cliff Public Golf Course, Inc  
Off: 920-989-1045  
Fax: 920-989-1046  
Cell: 920-851-8599  
[dan@highcliffgolfandeventcenter.com](mailto:dan@highcliffgolfandeventcenter.com)

Welcome to:

## The Cottages at High Cliff, LLC

A Division of Drive Fore Success, LLC

Coming Early 2020!!!

We are excited to invite you to join our age 55 and over private unit development.

We have 23, two-unit duplexes available, located on Seven Time "Best of the Valley" High Cliff Public Golf Course in beautiful Sherwood, Wisconsin.

The following are all included with your purchase:

One half of a duplex on your own lot that varies in size.

Each half duplex is a single story, zero clearance entrance home with an oversized attached two car garage located to the outside of the home. The outside of the garages second stall will be slightly deeper than the inside stall to accommodate a six-foot garage door for golf cart entrance.

We offer three square footage options: 1,440, 1,550 or 1,660.

We anticipate the average total purchase price, including your lot will range from \$248,00 to \$289,000.

All three open concept units will have two bedrooms and two baths, a first-floor laundry room, a fireplace with a sliding glass door off the living or dining room, out to a poured patio. Your full basement will have the option of a one egress window.

Your duplex will be constructed by our experienced construction corporation. Your required \$40,000 down payment will be held in escrow by Nicolet Bank. When your plans are complete, construction will begin as with a typical financed, (if required) home construction. Financing is available with Nicolet Bank. You will be responsible for your own homeowners' insurance (including builders risk while under construction) and building maintenance. We will handle the rest.

We will have 5 exteriors designs to choose from and you can use ours or design your own interiors.

A condition of sale requires buyers to join our Homeowners Association and abide by the rules and regulations of the Homeowners Association Agreement. The Association fees are estimated to be \$255/month. Lawn care, snow removable up to the front door, trash and recyclable removal, and a Single or Senior Couples golf membership without cart is included. (For those that own their carts, a normal annual Trail fee is required).

For more information on our exciting development, please contact Dan at 920-989-1045 or by email [Dan@highcliffgolfandeventcenter.com](mailto:Dan@highcliffgolfandeventcenter.com)

*Sheppard stated the High Cliff Golf Course is a private entity not a public entity such as the High Cliff State Park, therefore, their financial situation is not an issue for the Plan Commission.*

*Gillespie requested clarification of the motion. Salo explained, since the TID 1 is closed, to consider approval or denial of this item, the agreement should be negated or dissolved.*

*Salo questioned Dan Rippl (virtual), High Cliff Golf Course, if they would consider a lower density development, for example 10 buildings with 20 units. Rippl responded it would not be fiscally prudent for the needed revenue.*

- d. PUD #2019-02: (Note: Public Hearing conducted March 2) Consider a Planned Unit Development (22 buildings as 44 duplex units) based on RP #2019-01 (Drive Fore Success, LLC) allowing development of duplex units on current 18<sup>th</sup> Hole of HCGC (11.3 acres) – ***Gillespie moved to recommend the Village Board approve PUD #2019-02 conditional upon completion of the WDNR wetland delineation study. Laux seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Nay, Schmidt – Nay, Sheppard – Nay, Summers – Aye. Vote 4-3 to deny.***
  - e. CPA #2020-01: (Note: Public Hearing conducted March 2) A Comprehensive Plan Amendment in concert with RP #2019-01 and/or PUD #2019-02 regarding the land use of High Cliff Golf Course Hole #18 (Parcel #13425; Drive Force Success, LLC); Maps 8-3 (Land Use) and 8-4 (Future Land Use) – ***Sheppard moved to recommend the Village Board approve CPA #2020-01, Comprehensive Plan Amendment in concert with RP #2019-01, regarding the land use of High Cliff Golf Course Hole #18, Parcel #13425; Maps 8-3 (Land Use) and 8-4 (Future Land Use). Gillespie seconded. Dekeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Aye, Sheppard – Aye, Summers – Aye. Vote 6-1 to approve.***
  - f. Concept Plan: (Tabled from Dec, 2019) Consider updated High Cliff Golf Course (Drive Fore Success, LLC) proposed development on 18<sup>th</sup> hole (Parcel #13425) – ***Gillespie moved to recommend Village Board approval of the updated Concept Plan for the High Cliff Golf Course proposed development on the 18<sup>th</sup> hole, Parcel #13425. Laux seconded. DeKeyser – Nay, Gillespie – Aye, Laux – Aye, Salo – Aye, Schmidt – Nay, Sheppard – Aye, Summers – Aye. Vote 5-2 to approve.***
- 8) New Business:
- a. Area Development Plan (ADP # 2020-01): Consider development proposal (Parcel #13697; 10.2 acres; Schulz, Burzynski). Note: Previous plan reviewed in 1997 for development as Sherwood Forest 2<sup>nd</sup> Addition. Only one lot approved, via CSM, for construction of a single-family home (Schultz) – *In consensus, the Plan Commission suggested Burzynski continue discussions with a civil engineer to ensure the utilities on the ADP are placed in such a way as to not impact possible future lot(s) development.*

# Map 8-3 Village of Sherwood Comprehensive Plan Update Land Use 2015

-  Single Family Residential
-  Farmsteads
-  Multi-Family
-  Mobile Home Parks
-  Commercial
-  Industrial
-  Quames
-  Institutional Facilities
- Transportation
-  Utilities/Communications
-  Non-Irrigated Cropland
-  Irrigated Cropland
-  Other Ag Land / Pasture
-  Recreational Facilities
-  Planted Woodlands
-  General Woodlands
-  Open Other Land
-  Water

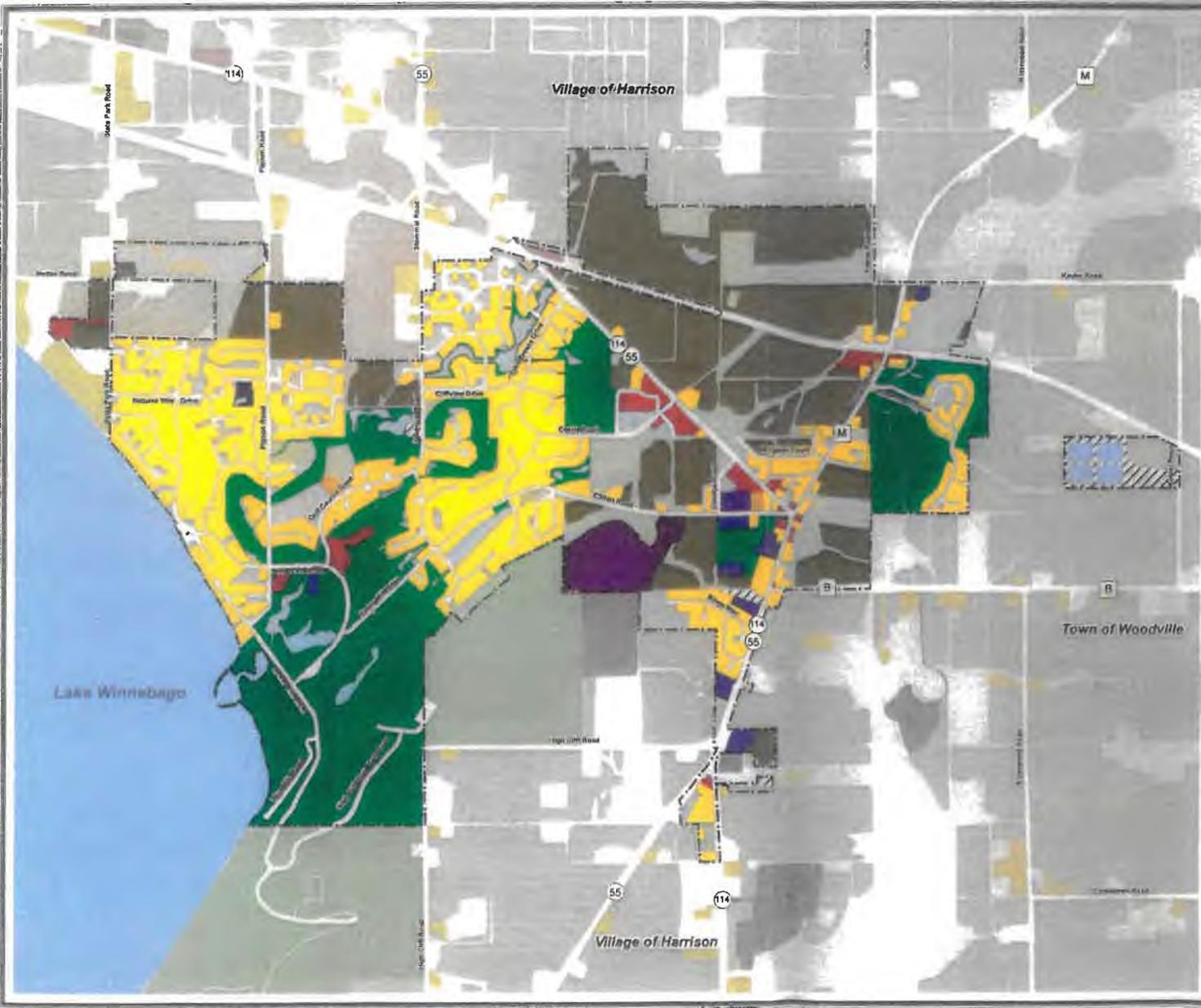
Source:  
Base Data provided by Calumet County 2016.  
Land Use Data provided by ECWRPC 2016.



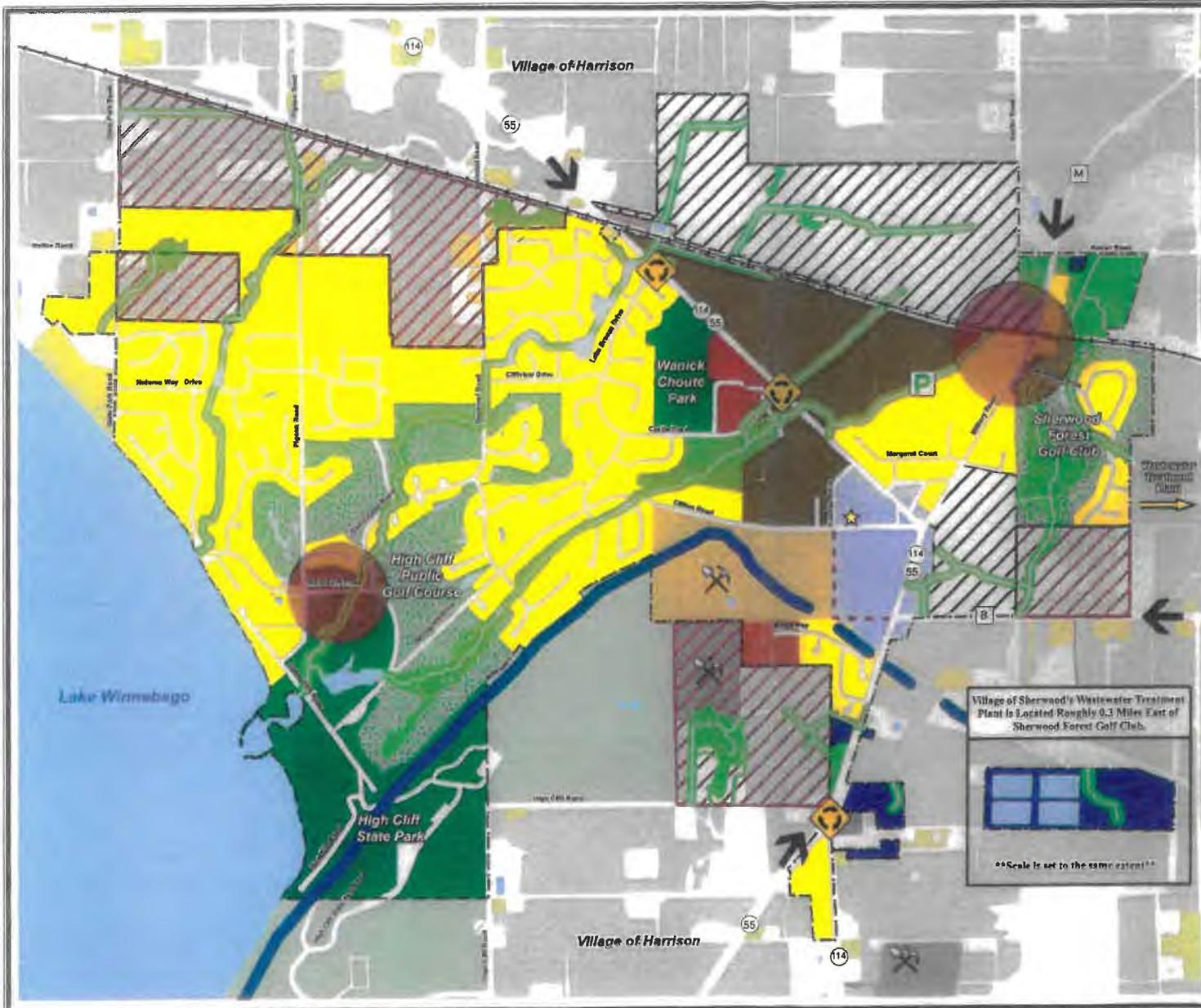
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PREPARED MAY 2018 BY:  
 ECWRPC

TD \Q 0218\_Sherwood\_Comp\_Plan\Map8 and 1\Map8\_Land\_Use\_2015.mxd



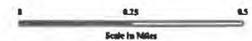
# Map 8-4 Village of Sherwood Comprehensive Plan Update Future Land Use



- Village Hall
- Future Park
- Community Gateway
- Existing Quarry
- Proposed Roundabout
- Niagara Escarpment Corridor
- Future Road
- Railroad
- Retail Center / High
- Public Parks
- Private Recreation (Golf Courses)
- Downtown Mixed-Use District
- Environmentally Sensitive Area\*\*\*
- Commercial
- Institutional Hub
- Mixed-Use Employment Center
- Mixed-Use Residential
- Residential Village
- Single Family Residential Infill
- Long Term Growth Area (2040+)
- Coordinated Growth Area

Source:  
Base Data provided by Calumet County 2017.  
Future Land Use Data provided by ECWRPC 2017.

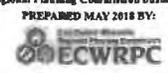
\*\*\*Wetlands plus 50 foot buffer.  
Navigable Streams with 75 foot buffer.



Village of Sherwood's Wastewater Treatment Plant is Located Roughly 0.3 Miles East of Sherwood Forest Golf Club.

\*\*Scale is set to the same extent\*\*

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## Randy Friday

---

**From:** Craig Booher <csbooher@athenet.net>  
**Sent:** Tuesday, July 07, 2020 7:44 PM  
**To:** Randy Friday  
**Cc:** Mike & Sue Cook; Paul Grube; bobmarbenz7@aol.com  
**Subject:** Re: Public Hearing: High Cliff Golf Course.

My communication of June 19 was not intended as an agenda item to be included in the board packet. I requested that my communication be FORWARDED. That's an email term signifying that one forwards an email to another email address. If I had wanted it to be included in the board packet, I would have specifically stated that (and submitted it earlier).

Please stop trying to confuse the issue. Bottom line, my June 19 communication was originally not handled properly. In fact, according to your earlier email, it was discarded by you.

And now I don't seem to find ANY way to submit anything to the Board from the village website.

Sincerely,

Craig Booher

Sent from my iPhone

On Jul 7, 2020, at 6:20 PM, Randy Friday <administrator@villageofsherwood.org> wrote:

**Mike and Sue, and Craig,**

FYI, and 'Thank You' for your input.

The below comments will be included in the upcoming Village Board packet.

Regards,

Randy Friday  
Village Administrator

Village of Sherwood  
W482 Clifton Road  
Sherwood, WI 54169

Tel: 920/989-1589  
Fax: 920/989-4084  
[www.villageofsherwood.org](http://www.villageofsherwood.org)

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**From:** Randy Friday  
**Sent:** Tuesday, July 07, 2020 6:11 PM  
**To:** bobmarbenz7@aol.com

**Randy Friday**

**To:** bobmarbenz7@aol.com  
**Cc:** Grube, Paul and Leigh  
**Subject:** RE: public hearing golf course

*See preceday E-mail - Booher*  
*Sent: July 7, 20*  
*AR*

Bob (and Paul),

While on vacation and following Staff's compilation and posting of the Monday, June 22<sup>nd</sup> Village Board Agenda Packet, the following two e-mails came in from the Booher and Cooks.

- The Booher e-mail was received on Friday, the 19<sup>th</sup>, less than 4 minutes before Staff left the Office for the weekend preceding your meeting.
- The Cook's e-mail came in on Saturday afternoon.

As you know, Staff receives Agenda input until Noon, the Wednesday prior to any Board meeting. This allows me (or others in this case) time to prepare and compile the Agenda Packet for dissemination. My goal is to have it completed by Noon, Thursday. Following this, Staff reviews the Packet and readies it for copying, dissemination to the Board(s), other professionals ( e.g. *Cedar Corp.*, legal ), the press, and posting on Friday.

Per Staff input and following my return, in addition to the Webex conference, we have included a call-in telephone # interested parties can use (per Board discussion).

Following comments from Craig Booher, we today posted on our webpage the Board's approval to have *Public Hearing*—interested parties enter the building one person at a time, if they employ a face mask (per Board discussion).

For the next meeting, I am including the *in-person visitation* notification at the top of the posted Agenda, on-line and in the usual publicly noticed spots ( e.g. V. Hall; Post Office... )

Note: I included Paul Grube as he has been included by Craig B. in messages I received from him yesterday and today. Also, 'Communications' as such, are sent to the Board via the Packet to avoid constituting a 'Walking Quorum' and the Board can decide if they wish to aggendize any communication for future Board review and/or action ( which you did, so the request/message somehow found its way to the Board ).

Regards,

- Randy

**Subject:** Communication to Village Board Members  
**Date:** Fri, 19 Jun 2020 16:25:28 -0500  
**From:** Craig <csbooher@athenet.net>  
**To:** clerk-treasurer@villageofsherwood.org

Please forward the following communication to each of the Village Board Members.

Thank you.

Craig Booher

Dear Village of Sherwood Board Member:

Around the beginning of last week I received notice of a Public Hearing to be held on Monday July 13 concerning the plans of Drive Fore Success for the 18<sup>th</sup> hole of High Cliff Golf Course. I was dismayed to see that input from residents will be limited to a Webex format. I am writing to request that you reconsider that decision and provide an avenue for residents to directly address the board.

I see at least three possible alternatives for the meeting which would allow residents to stand before the board and communicate their thoughts:

- Postpone the hearing until the COVID-19 restrictions have been lifted. There is precedence for postponing the hearing on this topic. Hearings were postponed/cancelled at least three times at the beginning of this year, AT THE REQUEST OF Drive Fore Success because, apparently, they were not ready to deliver a complete proposal.
- Arrange for residents to wait outside the building where the meeting is to occur and successively enter the meeting room in small numbers to maintain social distancing.
- Hold the meeting in a larger venue, or even outdoors (Wanick Choute Park?) where social distancing can be more easily enjoyed.

I'm sure other alternatives could also present themselves for your consideration.

I am opposed to a Webex venue for this meeting for several reasons. First, not everyone is comfortable using computer technology, especially that which goes beyond simple email and social media interactions. Second, there are undoubtedly those who don't have access to computers/the Internet/Webex technology. In either case, we are disenfranchising these individuals by placing a technical impediment in front of them. Third, Webex provides an awkward medium for facily conducting a public hearing with numerous attendees. I attended the previous public hearing held using Webex and found the communication from residents and between board members very difficult to follow. Technical glitches impeded the meeting and it was difficult to hear all that was being said. Such an interface undermines the ability of the residents to communicate their thoughts effectively and for the board to experience the facts as well as the feelings of the residents.

The issue in front of the board is too important to be addressed without full and easy participation by the residents of Sherwood. Therefore, I urge you to reposition the public hearing so that residents at least have the option of live, in-person participation.

Sincerely,

Craig S. Booher

W4897 Golf Course Rd.

On Sat, Jun 20, 2020 at 1:56 PM Mike & Sue Cook <[cookpose@gmail.com](mailto:cookpose@gmail.com)> wrote:  
Randy,  
Please forward this to board members prior to Tuesday meeting.  
Also send confirmation of my request.

The upcoming public hearing on the proposed condo development by golf course is the most important issue that the village will address in the 30 years I have been a resident of Sherwood.

I do not envy the task before you.

The decision of the board will affect the future of the village for generations. We are unique in the valley as a community because we offer an urban lifestyle in a rural setting. Large unfenced lots, open spaces and roads that function as sidewalks are a few of the values that we consider important in the Village.

Because of the importance of this vote it is essential that the board seek input from residents in the village, both pro and con, so that the decision you reach as representatives of the people is consistent with the majority of the people residing here.

While a virtual meeting is the easiest for the board it is the least effective way to allow input from residents. An aging population, technology issues, and the inability to see people's faces make this the least than favorable way to seek input on this important issue.

There are three alternatives available to you. The easiest would be to postpone the meeting until such time as the Covid restrictions have been lifted by the board. Municipalities in the valley are beginning to ease restrictions with safety in mind. The golf course has twice sought postponements from the village so you would not be setting a precedent.

The second would involve a change in venue to the gym. This would allow a safe number of residents, to be determined by the board, to enter the gym,

asked to leave allowing another resident to repeat the process.

The third and most difficult technically would be to hold the meeting in the lower park pavilion which would allow unlimited community access.

I would hope the board members consider the importance of this vote and the impact it will have upon the village and seek maximum resident input.

I welcome comments to email: [cookpose@gmail.com](mailto:cookpose@gmail.com), call or text to 920-277-1877.

Good luck.

Mike Cook

**From:** bobmarbenz7@aol.com [mailto:bobmarbenz7@aol.com]

**Sent:** Monday, July 06, 2020 4:48 PM

**To:** Randy Friday <administrator@villageofsherwood.org>

**Subject:** public hearing golf course

Still receiving criticism of our virtual meeting on the golf course. Also did you receive any communication on this subject from mike cook or craig boer?

## Randy Friday

---

**From:** Craig <csboohar@athenet.net>  
**Sent:** Tuesday, July 07, 2020 3:00 PM  
**To:** Randy Friday  
**Cc:** Grube, Paul and Leigh; Clerk.Treasurer; Kristy Van Hefty  
**Subject:** Re: Communication to Village Board Members

Randy,

Thank you for your reply. While it provides an explanation of what happened, it really does not address the underlying concern that the process for residents to communicate with the Village Board members is apparently broken.

Furthermore, your reference to Jo Ann Lessor would appear to be irrelevant. The link on the village website sends an email to this address: [clerk-treasurer@villageofsherwood.org](mailto:clerk-treasurer@villageofsherwood.org). This is a generic, corporate address which, presumably, anybody in the Village office could be assigned responsibility for monitoring and forwarding any email received.

Also, when you are on vacation, one would hope that someone who is still in the office would be responsible for handling those tasks that are needed to ensure the effective discharge of office responsibilities.

In short, it is the process (and I don't just mean the email link) that is broken and needs to be fixed, and quickly.

It is fortunate that despite the lack of follow through by the Village office regarding both my email and that of Mike Cook, Board members did decide to allow in-person communication at the public hearing. However, I find no general notice that this opportunity will be available to the village residents. Anybody who has looked at the village website will only see a notice for a Webex meeting. And even if that notice was changed now, anybody who has already looked at the site will not be aware of the change. In essence, the residents still lack proper notice of the public hearing.

Accordingly, I feel it is appropriate, perhaps even necessary, to **reschedule the public hearing to a future Board Meeting and issue a new public notice that accurately reflects the opportunities for Village residents to participate.**

Sincerely,

Craig Booher

## Randy Friday

---

**From:** Randy Friday  
**Sent:** Monday, July 06, 2020 5:10 PM  
**To:** Craig  
**Cc:** Grube, Paul and Leigh; Clerk Treasurer; Kristy Van Hefty  
**Subject:** RE: Communication to Village Board Members

Craig,

Our apologies on the Village Hall end for the confusion as we are all trying to deal with many important tasks during the COVID pandemic and the strains it has put on every facet of all our lives these days.

I was on vacation in the Wisconsin North Woods and basically unreachable during the timeframe you sent the e-mail. Additionally, we had Office Staff furloughed in the interim and have been without a Clerk/Treasurer for nearly nine months as the Village Board hiring process has bogged-down in trying to advertise, qualify, and arrange interviews, etc. with Board Members and candidates, who of course are all affected by COVID.

That all said, you are certainly correct that the reference to Jo Ann Lessor should be removed from the webpage as the Clerk-Treasurer contact person for this type of info.

Kristy, please remove the reference.

Kathy Mader was acting as the Clerk-Treasurer during my vacation and she did see your e-mail – and evidently did send it to my 'phone'. I may have simply deleted it along with voluminous other e-mails that I could not address during my vacation away from Sherwood for a meeting at which I would not be attending.

The upside is, according to Kathy, at the last Village Board meeting (June 22<sup>nd</sup>) consensus was reached to allow individual residents into the Village Hall, one at a time, for the purpose of making statements during the Public Hearing portion of the meeting regarding the *High Cliff Golf Course (Drive Fore Success)*. Attendees must use a proper mask in the building. The importance of appearing in-person is a concern they also heard from other residents and, I am guessing, why the accommodation was made.

Again, our apologies for the mix-up on this end. We are a very small Staff trying our best to continue operations while also morphing into the 21<sup>st</sup> Century 'virtual world' for the purpose of supplying local government operations for all Sherwood residents, as well as conducting open, public meetings in the middle of a global pandemic. Circumstances quite literally do not get much more challenging than they are currently.

This e-mail will be forwarded to the Board in its entirety.

Regards,

Randy Friday  
Village Administrator

Village of Sherwood  
W482 Clifton Road  
Sherwood, WI 54169

Tel: 920/989-1589

**\*\*\*Confidentiality Notice\*\*\***

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**From:** Craig [mailto:[csbooher@athenet.net](mailto:csbooher@athenet.net)]  
**Sent:** Monday, July 06, 2020 3:29 PM  
**To:** Randy Friday <[administrator@villageofsherwood.org](mailto:administrator@villageofsherwood.org)>  
**Cc:** Grube, Paul and Leigh <[pgrube@new.rr.com](mailto:pgrube@new.rr.com)>  
**Subject:** Fwd: Communication to Village Board Members

As you can see from the time stamp on the message below, on Friday, June 19 at 4:25 PM, I sent the following message to the email address of the Village clerk-treasurer. From the first sentence in the message, you can see that I explicitly requested that it be forwarded to "each of the Village Board Members." I did all this per the instructions on the Village website:

If you wish to e-mail the Village Board, please send the e-mail to our Clerk-Treasurer, Jo Ann Lesser (with indication that the message is intended for the Village Board), and she will forward the message accordingly.

I understand from my recent conversation with Paul Grube that not only was my request not honored, it seems the Village office has no knowledge of ever receiving this communication. This is an unacceptable breach of public trust. I want the Board to be made aware of my original email and the failure by the Village office to communicate that email in a timely manner. In fact, I recommend the Board institute a review of Village office procedures to ensure that this type of nonfeasance does not occur again.

The issue before us is too important to the future of the Village for us not to allow the voice of Village residents to be heard.

Sincerely,

Craig S. Booher

----- Forwarded Message -----

**Subject:** Communication to Village Board Members  
**Date:** Fri, 19 Jun 2020 16:25:28 -0500  
**From:** Craig <[csbooher@athenet.net](mailto:csbooher@athenet.net)>  
**To:** [clerk-treasurer@villageofsherwood.org](mailto:clerk-treasurer@villageofsherwood.org)

Please forward the following communication to each of the Village Board Members.

Thank you.

Craig Booher

Dear Village of Sherwood Board Member:

Around the beginning of last week I received notice of a Public Hearing to be held on Monday July 13 concerning the plans of Drive Fore Success for the 18<sup>th</sup> hole of High Cliff Golf Course. I was dismayed to see that input from residents will be limited to a Webex format. I am writing to request that you reconsider that decision and provide an avenue for residents to directly address the board.

I see at least three possible alternatives for the meeting which would allow residents to stand before the board and communicate their thoughts:

- Postpone the hearing until the COVID-19 restrictions have been lifted. There is precedence for postponing the hearing on this topic. Hearings were postponed/cancelled at least three times at the beginning of this year, AT THE REQUEST OF Drive Fore Success because, apparently, they were not ready to deliver a complete proposal.
- Arrange for residents to wait outside the building where the meeting is to occur and successively enter the meeting room in small numbers to maintain social distancing.
- Hold the meeting in a larger venue, or even outdoors (Wanick Choute Park?) where social distancing can be more easily enjoyed.

I'm sure other alternatives could also present themselves for your consideration.

I am opposed to a Webex venue for this meeting for several reasons. First, not everyone is comfortable using computer technology, especially that which goes beyond simple email and social media interactions. Second, there are undoubtedly those who don't have access to computers/the Internet/Webex technology. In either case, we are disenfranchising these individuals by placing a technical impediment in front of them. Third, Webex provides an awkward medium for facily conducting a public hearing with numerous attendees. I attended the previous public hearing held using Webex and found the communication from residents and between board members very difficult to follow. Technical glitches impeded the meeting and it was difficult to hear all that was being said. Such an interface undermines the ability of the residents to communicate their thoughts effectively and for the board to experience the facts as well as the feelings of the residents.

The issue in front of the board is too important to be addressed without full and easy participation by the residents of Sherwood. Therefore, I urge you to reposition the public hearing so that residents at least have the option of live, in-person participation.

Sincerely,

Craig S. Booher

W4897 Golf Course Rd.

## Randy Friday

---

**From:** Clerk Treasurer  
**Sent:** Saturday, June 20, 2020 9:48 AM  
**To:** Randy Friday  
**Subject:** FW: Communication to Village Board Members

Please let me know how you'd like me to handle this.  
Thank you,  
Kathy

**From:** Craig <csboohar@athenet.net>  
**Sent:** Friday, June 19, 2020 4:25 PM  
**To:** Clerk Treasurer <clerk-treasurer@villageofsherwood.org>  
**Subject:** Communication to Village Board Members

Please forward the following communication to each of the Village Board Members.

Thank you.

Craig Booher

Dear Village of Sherwood Board Member:

Around the beginning of last week I received notice of a Public Hearing to be held on Monday July 13 concerning the plans of Drive Fore Success for the 18<sup>th</sup> hole of High Cliff Golf Course. I was dismayed to see that input from residents will be limited to a Webex format. I am writing to request that you reconsider that decision and provide an avenue for residents to directly address the board.

I see at least three possible alternatives for the meeting which would allow residents to stand before the board and communicate their thoughts:

- Postpone the hearing until the COVID-19 restrictions have been lifted. There is precedence for postponing the hearing on this topic. Hearings were postponed/cancelled at least three times at the beginning of this year, AT THE REQUEST OF Drive Fore Success because, apparently, they were not ready to deliver a complete proposal.
- Arrange for residents to wait outside the building where the meeting is to occur and successively enter the meeting room in small numbers to maintain social distancing.
- Hold the meeting in a larger venue, or even outdoors (Wanick Choute Park?) where social distancing can be more easily enjoyed.

I'm sure other alternatives could also present themselves for your consideration.

I am opposed to a Webex venue for this meeting for several reasons. First, not everyone is comfortable using computer technology, especially that which goes beyond simple email and social media interactions. Second, there are

undoubtedly those who don't have access to computers/the Internet/Webex technology. In either case, we are disenfranchising these individuals by placing a technical impediment in front of them. Third, Webex provides an awkward medium for facilely conducting a public hearing with numerous attendees. I attended the previous public hearing held using Webex and found the communication from residents and between board members very difficult to follow. Technical glitches impeded the meeting and it was difficult to hear all that was being said. Such an interface undermines the ability of the residents to communicate their thoughts effectively and for the board to experience the facts as well as the feelings of the residents.

The issue in front of the board is too important to be addressed without full and easy participation by the residents of Sherwood. Therefore, I urge you to reposition the public hearing so that residents at least have the option of live, in-person participation.

Sincerely,

Craig S. Booher

W4897 Golf Course Rd.

## Randy Friday

---

**From:** Joe or Sandra <shennlich@tds.net>  
**Sent:** Thursday, July 09, 2020 3:07 PM  
**To:** Randy Friday  
**Subject:** Fwd: Public Hearing

----- Forwarded Message -----

**From:** "Joe or Sandra" <shennlich@tds.net>  
**To:** "Village Administrator" <administrator.sherwood@newbc.rr.com>  
**Sent:** Thursday, July 9, 2020 1:53:24 PM  
**Subject:** Public Hearing

Dear Village Board Members,

I am writing to you about the public hearing on rezoning and changing the comp. plan. I am opposed to both. I think we all want to keep the golf course a golf course and the only way we can do that is to not change the zoning. Rezoning will open a Pandora's Box. The golf course owners will be back within ten years in an effort to develop more land. We will experience more extreme weather changes; more wet seasons followed by more droughts. Hopefully, there will be enough good years that the golf course can be successful. Do not handcuff future Boards by setting a precedent by changing the zoning. You only have to look at Breezewood Golf Course in Neenah. They went from an 18 hole course to a nine and then developed the whole course. We have to preserve the green space in our Village. You have done an excellent job with our local parks and trails. My former esteemed colleague who sat across the room from me said we do not have to develop every square inch of land in the village.

When the golf course owners built a new tee box on Village property (by mistake) they said they wanted to make a championship course. The Village worked with them to make this happen even allowing trees to be cut on Village land. With trying to fit these condos in, it seems like this goal is out the window. They have already increased the number of condos from the original plan. Be wary of Pandora's Box.

Why change the Comp. Plan? If we want business to come to the downtown, placing senior housing at the golf course is the wrong place. The Village has better places for senior housing; behind the Village Hall, the Ecker property, across from Dick's. These are all within walking distance to shopping, recreation, and hopefully a flourishing downtown. If you allow these condos to be built on the golf course, the residents will go out Pigeon or Stommel Roads, bypassing the downtown. Keep business in the Village.

Thank you for your hard work and diligence. You make the Village of Sherwood a better place.

Sincerely,  
Joe Hennlich  
W410 Margaret Ct.

## Randy Friday

---

**From:** Ashley Lehocky <alehocky@towncounselaw.com>  
**Sent:** Thursday, July 09, 2020 3:02 PM  
**To:** Randy Friday  
**Cc:** Lindsay Borngraver  
**Subject:** Accommodations for those Unable to Attend Electronic Meetings  
**Attachments:** 3.16.20\_OOG Advisory\_COVID-19\_and\_Open\_Meetings.pdf

Randy,

As discussed by phone today, I believe that the notice provided for the public hearing on July 13<sup>th</sup> was proper. That notice states:

*NOTE: Due to COVID-19 restrictions, residents are not allowed in the Village Hall but may 'join' the meeting at 6:30pm via Webex meeting home page at [www.villageofsherwood.org](http://www.villageofsherwood.org). At the upper right-hand side of your computer screen is the link to join. You may print or save a copy of the complete meeting packet.*

As I understand it, a number of residents contacted Village staff concerned that they would not be able to speak during the public comment portion of the meeting via Webex. As a result, the Village accommodated such individuals by allowing them to enter the building, one at a time, while masked to give comment during the hearing. This accommodation ensured that individuals unable to attend or participate remotely were still heard.

As a result of the current health pandemic, the DOJ issued an advisory opinion in March addressing the issue of compliance with open meetings law by meeting via telephone/web/video conferencing. That advisory opinion states in part that "Governmental bodies typically can meet their open meetings obligations, while practicing social distancing to help protect public health, by conducting meetings via telephone conference calls if the public is provided with an effective way to monitor such calls (such as public distribution, at least 24 hours in advance, of dial-in information for a conference call)."

The opinion cautions that the governmental body conducting the meeting should be mindful of the possibility that it may overly burdensome or impossible for one or more individuals to observe a meeting electronically. The advisory states that the governmental body should provide appropriate accommodations to facilitate access to the meeting for such individuals.

Allowing individuals who wished give public comment, but were not able to do so electronically is an appropriate accommodation made in the discretion of the Village Board. It does not have any legal impact on the sufficiency of notice. I've attached the DOJ advisory here for reference. Please let me know if you have any additional questions or concerns.

Thank you,

**Ashley C. Lehocky**  
**Attorney | Town Counsel Law & Litigation, LLC**  
119 N. McCarthy Road, Suite C  
Appleton, WI 54913

Phone: (920) 725-1233  
Fax: (920) 202-3116  
[alehocky@TownCounselLaw.com](mailto:alehocky@TownCounselLaw.com)  
[www.towncounselawfirm.com](http://www.towncounselawfirm.com)



Josh Kaul  
Wisconsin Attorney General

P.O. Box 7857  
Madison, WI 53707-7857

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**FOR IMMEDIATE RELEASE**

March 16, 2020

**Office of Open Government Advisory:  
Coronavirus Disease 2019 (COVID-19) and Open Meetings**

MADISON, Wis. – The Wisconsin Department of Justice’s (DOJ) Office of Open Government (OOG) has prepared the following advisory in response to inquiries as to the applicability of the Wisconsin’s open meetings law, Wis. Stat. §§ 19.81 to 19.98, in light of current public health concerns regarding COVID-19. This advisory is provided pursuant to Wis. Stat. § 19.98.

As explained below, governmental bodies typically can meet their open meetings obligations, while practicing social distancing to help protect public health, by conducting meetings via telephone conference calls if the public is provided with an effective way to monitor such calls (such as public distribution, at least 24 hours in advance, of dial-in information for a conference call).

The open meetings law states: “[I]t is declared to be the policy of this state that the public is entitled to the fullest and most complete information regarding the affairs of government as is compatible with the conduct of governmental business.” Wis. Stat. § 19.81(1). To that end, the law requires that “all meetings of all state and local governmental bodies shall be publicly held in places reasonably accessible to members of the public and shall be open to all citizens at all times unless otherwise expressly provided by law.” Wis. Stat. § 19.81(2). A meeting must be preceded by notice providing the time, date, place, and subject matter of the meeting, generally, at least 24 hours before it begins. Wis. Stat. § 19.84.

The open meetings law “does not require that all meetings be held in publicly owned places but rather in places ‘reasonably accessible to members of the public.’” 69 Op. Att’y Gen. 143, 144 (1980) (quoting 47 Op. Att’y Gen. 126 (1978)). As such, DOJ’s longstanding advice is that a telephone conference call can be an acceptable method of convening a meeting of a governmental body. *Id.* at 146. More recently, DOJ guidance deemed video conference calls acceptable as well. Wis. Dep’t of Justice,

*Wisconsin Open Meetings Law Compliance Guide* 11 (May 2019), <https://www.doj.state.wi.us/sites/default/files/office-open-government/Resources/OML-GUIDE.pdf>.

When an open meeting is held by teleconference or video conference, the public must have a means of monitoring the meeting. DOJ concludes that, under the present circumstances, a governmental body will typically be able to meet this obligation by providing the public with information (in accordance with notice requirements) for joining the meeting remotely, even if there is no central location at which the public can convene for the meeting. A governmental body conducting a meeting remotely should be mindful of the possibility that it may be particularly burdensome or even infeasible for one or more individuals who would like to observe a meeting to do so remotely—for example, for people without telephone or internet access or who are deaf or hard of hearing—and appropriate accommodations should be made to facilitate reasonable access to the meeting for such individuals.

To be clear, providing only remote access to an open meeting is not always permissible, as past DOJ guidance shows. Where a complex plan, drawing, or chart is needed for display or the demeanor of a witness is significant, a meeting held by telephone conference likely would not be “reasonably accessible” to the public because important aspects of the discussion or deliberation would not be communicated to the public. *See* 69 Op. Att’y Gen. at 145. Further, the type of access that constitutes reasonable access in the present circumstances, in which health officials are encouraging social distancing (including avoiding large public gatherings) in order to mitigate the impact of COVID-19, may be different from the type of access required in other circumstances. Ultimately, whether a meeting is “reasonably accessible” is a factual question that must be determined on a case-by-case basis. *Id.*

If you have questions or concerns regarding the application of the open meetings law, please contact the Office of Open Government at (608) 267-2220.

**DO NOT REMOVE  
OFFICIAL OFFICE COPY**

**RECEIVED**  
JUL 08 2020  
V. SHERWOOD TREASURER

**PROTEST PETITION REGARDING PROPOSED ZONING CHANGE FOR  
TAX PARCEL 13425  
IN THE VILLAGE OF SHERWOOD, WISCONSIN  
Pursuant to § 22-109(H) of the Village of Sherwood Zoning Ordinance  
and § 62.23(7) of the Wisconsin Statutes**

We, the undersigned, hereby petition and declare to the Village Board of the Village of Sherwood as follows:

- A. Based upon information and behalf, Drive Fore Success, LLC has filed a request with the Village of Sherwood to have all or part of Calumet County Tax Parcel No. 13425 (the "Subject Property" rezoned from IR-1 (Recreation Industry District) to IR-2 (Recreation Industry/Residential District) under the Village of Sherwood Zoning Ordinance.
- B. The approximately location of the Subject Property is further shown on the attached Exhibit A (where the Subject Property is outlined in red).
- C. This Petition is being made pursuant to § 22-109(H) of the Village of Sherwood Zoning Ordinance and § 62.23(7) of the Wisconsin Statutes. § 22-109(H) of the Village of Sherwood states:

(1) Filing of protest petition and verification. In the event a protest against a proposed change or amendment is filed under § 62.23(7)(d), Wis. Stats., with the Village Clerk-Treasurer at least 24 hours prior to the time of the meeting of the Village Board at which the recommendation of the Plan Commission is to be considered, appearing to be duly signed and acknowledged by the owners of 20% or more of the area proposed to be altered, or by abutting owners of over 20% of the total perimeter of the area proposed to be altered included within 100 feet of the parcel or parcels proposed to be rezoned, or by the owners of 20% or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land, action on such ordinance may be deferred until the Village Clerk-Treasurer has had a reasonable opportunity to ascertain and report to the Village Board as to the authenticity of such ownership statements.

(2) Extra majority required. If such statements are found to be true, such ordinance shall not be adopted except by the affirmative vote of 3/4 of the members of the Village Board present and voting. If such statements are found to be untrue to the extent that the required frontage or area ownership is not present, such protest may be disregarded.

- D. As such, by filing this petition, the undersigned are requiring that any amendment to rezone all or part of Calumet County Tax Parcel 13425 be approved by the affirmative vote of 3/4 of the members of the Village Board present and voting as they represent over 20% of the total perimeter of the area proposed to be altered included within 100 feet of the Subject Property.

In witness whereof, the undersigned have executed this Petition on the date below their respective names.

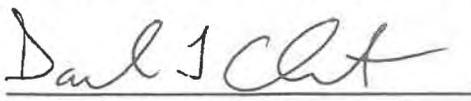
(Execution on following pages.)

**DO NOT REMOVE  
OFFICIAL OFFICE COPY**

(NOTE: 7 pgs. total) (P)

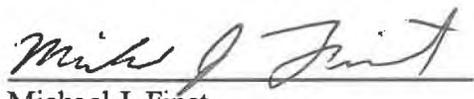
**The following is a list of all of the owners believed to be within 100 feet of the Subject Property, but only more than 20% of the undersigned are required to sign.**

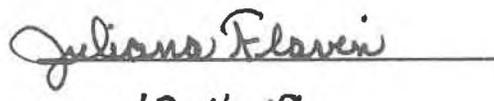
*N7759 Palisades Tr – Parcel No. 14120:*

  
Daniel T. Christ  
Dated: 12/5/2019

  
Karin A. Christ  
Dated: 12-5-2019

*N7816 Palisades Cir – Parcel No. 14035:*

  
Michael J. Finet  
Dated: 12/8/19

  
Dated: 12-4-19

*N7817 Palisades Cir – Parcel No. 14036:*

  
Benjamin L. Thompson  
Dated: 12-07-2019

\_\_\_\_\_  
Katherine M. Thompson  
Dated: \_\_\_\_\_

*N7827 Palisades Cir – Parcel No 14037:*

  
Troy A. Neuber  
Dated: 12/27/19

\_\_\_\_\_  
Dated: \_\_\_\_\_

*N7760 Palisades Tr – Parcel No. 14032:*

Jean M. Dekeyser Revocable Trust

By: \_\_\_\_\_  
Kerry J. Dekeyser, Trustee  
Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Jean M. Dekeyser, Trustee  
Dated: \_\_\_\_\_

Petition to Village of Sherwood  
Page 3

*N7770 Palisades Tr – Parcel No. 14033:*

Michael J. Cook  
Michael J. Cook  
Dated: 2/13/2020

\_\_\_\_\_  
Suzanne M. Cook  
Dated: \_\_\_\_\_

*W4897 Golf Course Rd – Parcel No. 13642:*

Booher Trust

By: [Signature]  
Name & Title: \_\_\_\_\_  
Dated: 5-17-2020

By: \_\_\_\_\_  
Name & Title: \_\_\_\_\_  
Dated: \_\_\_\_\_

*W4900 Golf Course Rd – Parcel No. 14065:*

\_\_\_\_\_  
Richard T. Ball  
Dated: \_\_\_\_\_

\_\_\_\_\_  
Karen Ball  
Dated: \_\_\_\_\_

*W4906 Golf Course Rd – Parcel No. 14064:*

\_\_\_\_\_  
Calvin D. Hayden  
Dated: \_\_\_\_\_

\_\_\_\_\_  
Joan M. Hayden  
Dated: \_\_\_\_\_

*W4916 Golf Course Rd – Parcel No. 14063:*

Christopher Y. Canino  
Christopher Y. Canino  
Dated: 12/3/19

Jennifer L. Canino  
Jennifer L. Canino  
Dated: 12/23/19

Petition to Village of Sherwood  
Page 4

W4923 Golf Course Rd – Parcel Nos. 14038 & 13423:

James M. Welisek  
James M. Welisek  
Dated: 12/4/19

Brenda A. Welisek  
Brenda A. Welisek  
Dated: 12-4-19

W4933 Golf Course Rd – Parcel No. 14039:

Mark J. Damro  
Mark J. Damro  
Dated: 12/4/19

Mary Beth Damro  
Mary Beth Damro  
Dated: 12/4/2019

W4947 Golf Course Rd – Parcel No. 14878:

Patrick J. McMullen  
Patrick J. McMullen  
Dated: 12/7/20

Pauline R. McMullen  
Pauline R. McMullen  
Dated: \_\_\_\_\_

N7830 S Niagara Ct – Parcel No. 14041:

Michael W. Wood  
Michael W. Wood  
Dated: 12/4/2019

Kristin A. Goerg-Wood  
Kristin A. Goerg-Wood  
Dated: \_\_\_\_\_

N7820 S Niagara Ct – Parcel No. 14042:

Christopher H. Fielder  
Christopher H. Fielder  
Dated: 12/3/19

Jasmine M. Morrison  
Jasmine M. Morrison  
Dated: \_\_\_\_\_

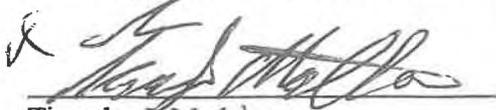
N7829 S Niagara Ct – Parcel No. 14043:

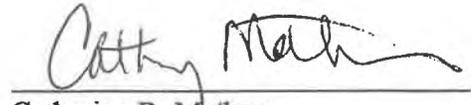
Robert W. Anderson  
Robert W. Anderson  
Dated: 12/3/19

Deanne C. Anderson  
Deanne C. Anderson  
Dated: 12-3-19

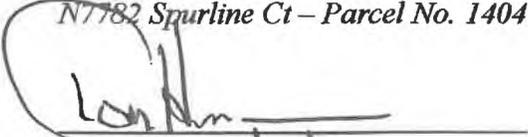
Petition to Village of Sherwood  
Page 5

*N7790 Spurline Ct – Parcel Nos. 13424 & 14046:*

  
\_\_\_\_\_  
Timothy J. Mathers  
Dated: 12/21/19

  
\_\_\_\_\_  
Catherine R. Mathers  
Dated: 12/21/19

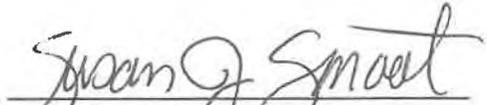
*N7782 Spurline Ct – Parcel No. 14047:*

  
\_\_\_\_\_  
Thomas Herrmann  
Dated: 12/8/19

  
\_\_\_\_\_  
Sue Ellen Herrmann  
Dated: 12-8-19

*N7779 Spurline Ct – Parcel No. 14048:*

  
\_\_\_\_\_  
Roland N. Smoot III  
Dated: 12-3-2019

  
\_\_\_\_\_  
Susan J. Smoot  
Dated: 12-3-19

*W5045 Golf Court Rd – Parcel No. 13443:*

\_\_\_\_\_  
Kenneth Frozena  
Dated: \_\_\_\_\_

*W5082 Fox Ln – Parcel No. 14390:*

\_\_\_\_\_  
Jamie E. Duchow  
Dated: \_\_\_\_\_

\_\_\_\_\_  
Ann M. Duchow  
Dated: \_\_\_\_\_

Petition to Village of Sherwood  
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W4930 14th Ct. - Parcel No. 14061

Ronald G. Schneider  
Ronald Schneider  
Dated: 12-3-19

Donna Schneider  
Donna Schneider  
Dated: 12-4-19

W4981 Golf Course Rd. - Parcel No. 14044

Boyd Helmich  
Boyd Helmich  
Dated: 12-3-19

Roxanne Helmich  
Roxanne Helmich  
Dated: 12/3/19

N7798 Spurline Ct. - Parcel No. 14045

Moved to  
another location  
in Sherwood

Mark Pluimer  
Mark Pluimer  
Dated: 12-3-19

Laurie Pluimer  
Laurie Pluimer  
Dated: 12.3.19

W4936 14th Ct. - Parcel No. 14060

Kevin Greiger  
Kevin Greiger  
Dated: Dec 3, 19

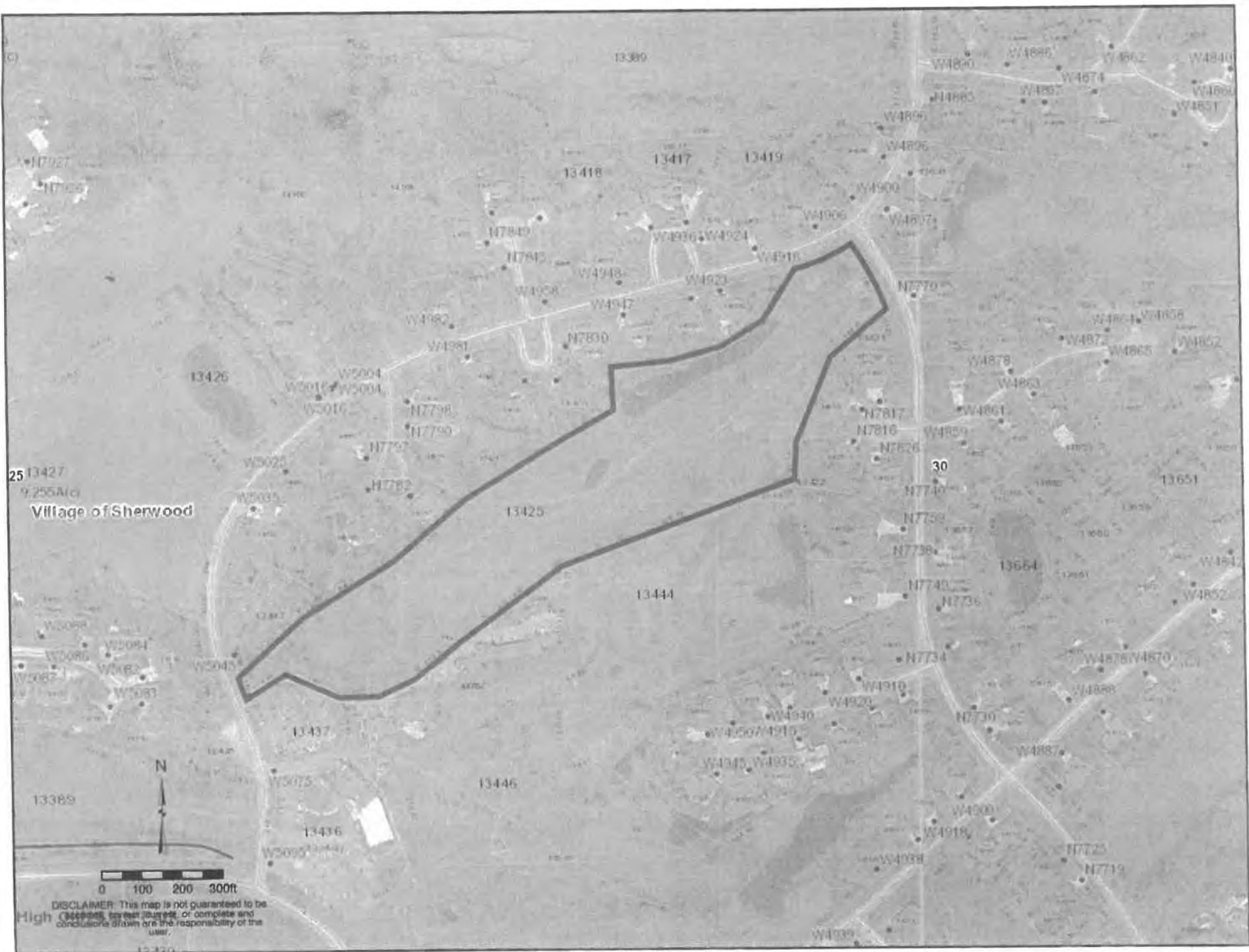
Lisa Greiger  
Lisa Greiger  
Dated: 12-3-19

W4924 14th Ct. - Parcel No. 14062

Jane K. Shaw  
Jane Shaw  
Dated: 12-4-19

Rob Shaw  
12/4/19  
W5035 Golf course rd

# EXHIBIT A



## **Sherwood Citizens' Concerns over Proposed Condensed Duplex Village Housing (New and Revised – July 1, 2020)**

Drive Fore Success, LLC (hereafter DFS) is seeking to rezone the entire 18<sup>th</sup> hole of High Cliff Golf Course (hereafter HCGC) in order to develop a duplex complex. After initially publicly revealing that the scope of the project would include 36 units, DFS has subsequently modified the scope several times, revealing a project that could contain as many as 48 units with a thru-road extending from near the clubhouse to an eastern egress onto Palisades Trail in the area of the current golf cart path. Each unit will include a two-car garage yielding an additional 80-100 vehicles to village roads in the immediate vicinity.

The proposal raises many questions and concerns for the community as a whole:

- **Safety**

Both Golf Course Road and Palisades Trail were developed when Sherwood was in its infancy, and as such they were not designed to support the traffic they now hold, much less any additional heavy traffic. Foot traffic, bike traffic, roller skaters, pet walkers and families walking with their children are seen frequently by those of us who live in that area. Add the traffic increase that comes in the summer due to the popularity of the State Park and we are in an overload situation with the potential for many safety concerns without the addition of potentially 100 new vehicles using these roads on a daily basis.

- **Traffic congestion**

An entrance/exit road connecting the duplex development to Palisades Trail would lead to unwieldy traffic congestion (including backups through the intersection) as the proposed egress location is less than 50 yards from the "T" intersection between Palisades Trail and Golf Course Road. While DFS claims there is precedence in the Village for a similarly configured T-intersection (Birchwood and Cherrywood Drives), even a cursory examination of the two situations would glaringly highlight there is no comparison. The suggested precedent is in a lightly trafficked area. It is highly unlikely for Birchwood to experience the semi-tractor trailers, trucks pulling campers and horse trailers, cars pulling boats, and phalanxes of motorcycles that regularly parade up and down the Stommel Road/Golf Course Road corridor.

Additionally, Stommel Road will experience a significant increase in traffic volume. The *Post-Crescent* recently (2/5/2020) reported that a proposed 308-unit housing complex – each unit with a two-car garage – in the Town of Harrison would generate 1986 vehicle trips per day. That's over six vehicle trips/unit/day. Assuming a similar factor, the DFS project most likely will add 250-300 vehicle trips per day to Stommel Road. This would be in addition to the 200-250 vehicle trips per day anticipated when the Pond View Estates sub-division is completed (again, based on the Town of Harrison calculations). DFS seems to feel that by limiting its owners to a minimum age of 55, it will be creating a very sedentary community, one that does not seek many trips outside the duplex development. This appears very myopic given that the only internal amenities available to the residents of this proposed community will be golf and a small restaurant. Any other activity, and there are plenty of them that are attractive to 55+ members of any community, WILL generate additional vehicle traffic on village roads.

- **Village Land Use Plans**

Another major consideration for Sherwood as a whole is the image we want to promote within the Valley. Our community is unique in that we would be considered urban in many respects, but we retain a rural aura, with large yards, no fences, lack of street light pollution, the ability to have children ride bikes without traffic concerns, fishing in our retention ponds and all the items that make our community unique to the Valley. The ratio of green space to developed areas is one of the main attractions of our community.

*The Village of Sherwood Comprehensive Plan Update 2040 (June 11, 2018)* emphasized the value of these characteristics when it adopted a series of Land Use Goals and Objectives (see pages 8-12), including the following three:

7. Enhance and maintain neighborhoods in the Village of Sherwood
8. Maintain the Village of Sherwood as a predominantly single-family community
9. Preserve and establish visually attractive development

The development proposed by DFS would definitely NOT enhance the current neighborhood, would NOT act as a single-family community, and would NOT appear as a visually attractive development given its jarringly dissimilar appearance with respect to the surrounding established neighborhood.

Furthermore, several pages later in the 2040 Update, Map 8-4, entitled *Village of Sherwood Comprehensive Plan Update - Future Land Use*, graphically represents “the **desired** (emphasis added) arrangement of land use for the next 20 years”. This map strikingly and convincingly specifies that the Village expects the entire 18<sup>th</sup> hole of HCGC to continue to exist as a private recreation area (a golf hole), not a residential area.

- **Medium Density Housing**

The project proposed by DFS will significantly increase the density of housing in the Village and, especially, in this area. Furthermore, it is totally incongruent with the existing housing along the 18<sup>th</sup> hole. Currently, there are 14 houses along Golf Course Road that abut the 18<sup>th</sup> hole. In that same length of land, DFS is proposing to build 40 housing units – a threefold increase in housing density.

With the existing condos near the clubhouse, as well as old condos on Golf Course Road and the 40-some unit complex proposed by DFS, we would begin trending toward a much higher housing density, which is contrary to our traditional values and our village development plans.

- **Lack of Transparency by DFS**

DFS has claimed the reason it needs to develop the proposed housing complex is because it is experiencing financial difficulties. This seems to be a blanket claim covering a multitude of other intentions. First, it begs credulity that a long-term construction project would address immediate financial shortfalls. Furthermore, if money is tight (as is a known factor for most golf courses in the past 10-20 years), why invest significant capital in an events center (as DFS did in purchasing the supper club without apparently correctly anticipating renovation needs) rather than in the golf course itself? Finally, how many units are really needed to ensure the solvency of DFS? The original plan called for 36 units. In a public meeting in November, DFS plans called for 48 units. Shortly after that, they rescaled to 44 units. DFS seems to be using a moving target in determining their financial needs.

When DFS took ownership of HCGC seven years ago, they stated they planned to reroute the 18<sup>th</sup> hole. Presumably, they would have begun working with the Village to include in the Village Comprehensive Plan wording calling for a change in land use for the 18<sup>th</sup> hole. Apparently, they didn't. At the time, the Village was actively engaging residents in focus groups and other input channels to shape the future development of the Village. And yet, the Village of Sherwood Comprehensive Plan Update 2040, which was issued in 2018, still labelled the 18<sup>th</sup> hole as a private recreation area.

Finally, DFS has claimed if they can't develop their duplex project, the golf course will go under. Here's where an important distinction must be made. **There is a difference between the entity which is the owners of the golf course (DFS) and the entity which is the golf course itself (HCGC).** Owners come and go (in fact, there have been two ownership groups between 2010 and the present), but **the golf course continues to exist regardless of who owns it.**

DFS is a supportive community partner and HCGC is a tremendous asset to the Village. Obviously, we want both to continue to succeed and recognize the financial challenges of golf courses in general. Accordingly, we could understand the DFS's desire for an alternative source of income. However, for the reasons outlined above, the proposed duplex development is not in the best interests of the Village.

For more information or answers to questions, contact:

Craig Booher: 920/540-5563

Bob Anderson: 920/989-1396

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

As a resident of Sherwood for 30 years and past president of the village, I have seen many changes. Due to the increased growth the operating costs have also risen. This has caused our taxes to increase. In order to offset these expenses we must continue to grow our tax base. The village needs to continue to develop property. The golf course is one of the largest tax contributors to the tax revenue. This helps our tax cost to be shared at a lower rate. Continued development on the golf course will not increase taxes for property owners. The tax rate will offset residential property taxes. This will benefit all property owners. The proposed development will be on private property and will not be an expense to the village. The current owners of the course have made many improvements. High Cliff Golf Course is a great asset to our village.

*Dennis (Mincheff)*

RECEIVED  
JUL 08 2020  
V. SHERWOOD TREASURER

Cottage Project

From: Shirley Goerlitz <sgoerlitz7@gmail.com>  
Sent: Thu, Jul 2, 2020 at 2:28 pm  
To: cfeller@pga.com

---

We moved to Sherwood 1.5 years ago & love High Cliff Golf Course. We definitely support this project!! Sincerely, Jim & Shirley Goerlitz

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JUL 08 2020  
V. SHERWOOD TREASURER

Sherwood Village Board:

I am writing this letter of support for High Cliff Golf Course to develop the senior condo project on the existing 18<sup>th</sup> hole. My family and I have been residents of Sherwood for almost 20 years now and find that living on the golf course has been nothing but a positive experience, adding to my family's quality of life. In addition, we have benefited from the added value to our property.

I encourage the board to support this long term local business and employer. It would be a shame to see the golf course go under and have a developer come in and fill the property with a congested amount of houses. A set of condos to help keep our golf course running is nothing compared to that alternative future. We have a beautiful village with lots of nature, let's keep it thriving.

Respectfully,

Glenn & Jessica Fischer

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JUL 08 2020

V. SHERWOOD TREASURER

V. SHERWOOD TREASURER

RECEIVED  
JUL 08 2020

**Cottage Project support**

From: Eric McKown <ericmckown@twc.com>  
Sent: Mon, Jul 6, 2020 at 4:27 pm  
To: cfeller@pga.com

We feel sincere empathy for the homeowners who live on hole #18 and are against this project. However, with (2) local golf courses closing (Sherwood Forest and Bridgewood) and many others financially hurting we strongly support the Cottage Project for the long term success of the golf course, Sherwood and the surrounding community.

**Eric & Norene McKown**

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RECEIVED

JUL 08 2020

V. SHERWOOD

M. SHERWOOD

## The Cottages at High Cliff

From: Joe Vendegna <joevendegna@gmail.com>

Sent: Sun, Jun 28, 2020 at 9:48 am

To: cfeller@pga.com

---

Dear Sherwood Village Board

I would like to express my support for the Cottages development at High Cliff Golf Course. I live here in Sherwood for nearly nine years now, I am also employed by High Cliff Golf Course for the past six years.

I am looking forward to more growth and continued success for the future of this great land mark of our Village.

Thank You

Sincerely, Joseph Vendegna.

RECEIVED

JUN 28 2020

### Supporting Cottage Project

From: Aric Thoreson <aricthoreson@gmail.com>

Sent: Thu, Jun 25, 2020 at 4:31 pm

To: cfeller@pga.com

Cory -  
please use this letter in your efforts with the Village in the upcoming meeting in July.

Thanks  
Aric & Liz Thoreson

To Whom It May Concern:  
My family and I have lived in Sherwood since Fall 2016. Before deciding to build here, my wife and I spent a considerable amount of time trying to figure out if we wanted to live on a lake or on a golf course. Ultimately we chose a golf course. This began our journey to Sherwood.

In 2014 we decided to look at open lots in the greater Appleton area. After looking at some, and not finding what we were looking for, we stumbled on a couple of available lots in Sherwood on High Cliff. We fell in love with the lot we purchased on Lakeshore Lane. We envisioned our home with our backyard bordering the golf course. We both loved golf and our daughter was showing an interest in it at an early age. Plans were drawn, building started and we finally moved in!

We absolutely love and enjoy our home on the golf course. It was our dream. We love the beauty of the course, interacting with golfers and becoming friendly with the staff and owners of High Cliff Golf Course. We can walk into the clubhouse or 3 Putt Pub and they know our names, ask us how we are doing and make sure we have what we need.

Selfishly, it would be so discouraging to see the course struggle and not be able to be maintained. Golf in Wisconsin as we know is very weather dependent and it is a very short season. The nature and beauty of the course would disappear. While any solution is not perfect for anyone involving matters of this magnitude, our family supports the vision of the Cottage Project to ensure the vitality of the course, have more residents within walking distance of the facilities, spending money in the community, contributing to the tax base of the community, and bringing their (those that will live in the Cottages) families and friends to the community to contribute and enjoy what High Cliff Golf Course (and the related facilities of 3 Putt Pub, Hoelze's, Driving Range and Banquet facilities) offers. Having the ability to utilize existing land on #18 to build even more of a 'High Cliff Community' seems to make sense to keep additional revenue streams present and growing.

Thank you for your consideration in supporting the Cottage Project at High Cliff.

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

Sherwood....

From: Paul & Kate Meyer Family <twolakesfamily@gmail.com>

Sent: Thu, Jun 25, 2020 at 4:13 pm

To: Corey Feller

---

Hi Corey,

Kate and I do support your Cottage Project, but we live in the Village of Harrison....just across the street from Sherwood.

Happy to write a note or letter, but not sure it will carry much weight unless accompanied by a request to be annexed!

Thanks,

Paul Meyer  
209-9022

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

## High Cliff Cottage Project

From: Patrick Nelson <pat.nelson34@gmail.com>

Sent: Mon, Jun 22, 2020 at 9:59 am

To: cfeller@pga.com

---

Hi Corey,

My wife and I are new to the area coming from Madison, WI. Coming from members at Cherokee Country Club last year we joined High Cliff Golf Course and could not be happier. High Cliff owners Dan and Jeff treat the members as family and constantly exceed expectations. Again, we could not have found a better place to be members. My wife and I also support the Cottage Project which would make High Cliff all the more stronger which in this day is critical for golf clubs to exist. Our ask is to support this project.

--

Pat Nelson

cell: 507.382.1623

email: [pat.nelson34@gmail.com](mailto:pat.nelson34@gmail.com)

RECEIVED

JUL 08 2020

V. SHAWING TELETYPE

## High Cliff Golf Course

From: Howard . <yuhuditu@gmail.com>

Sent: Tue, Jun 16, 2020 at 5:30 pm

To: cfeller@pga.com

---

High cliff Golf Course is in the DNA of Sherwood residents. It makes Sherwood a destination for thousand of people in the Valley and beyond. We must do everything we can to keep this treasure.

Howard and Rosemary Helker

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

## High Cliff Golf Course Cottage Project

From: Rick Griesser <rhgjr944@new.rr.com>

Sent: Mon, Jun 15, 2020 at 5:11 pm

To: 'cfeller@PGA.com'

---

Dan, Jeff, and Corey-

As a 40 plus year resident of the village of Sherwood and an avid golfer, I have witnessed the commitment that you all have put into making the golf course and its' facilities into a destination for people from all over the area to come and visit Sherwood. Quite frankly, High Cliff Golf Course is one of the gems of our village.

Since first hearing of your cottage project, I have felt it would be a good addition to your operation and the village. And I know at least one person who has said he wanted to be first in line.

You all have been good stewards of your operations, and I have no doubt the it will carry over into this project as well.

Rick Griesser  
N262 Forest Ave.  
Sherwood WI 54169  
920-851-3603

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

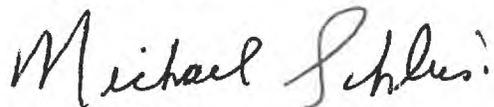
June 15, 2020

I am writing this to communicate my support for High Cliff Public Golf Course.

I have worked at the course over the years in several different capacities. During this time, I have witnessed the desire of the ownership, management, and staff to continuously improve the course. The efforts to build the Cottages will further their efforts. The Cottages will enhance the Sherwood area financially and aesthetically. During the times I ranger, I have heard many players remark about how well the course is maintained and operated. This is a direct credit to ownership and staff. This project will understandably augment the golfing and living experience for the people of Sherwood and for the people in the region at large.

I totally support the Cottages and the future enhancements at High Cliff Public Golf Course. Thank you for your attention to this recommendation.

Respectfully submitted,



Michael Schlies

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

## High Cliff Project

From: principal@tds.net <principal@tds.net>

Sent: Wed, Jun 10, 2020 at 3:27 pm

To: Corey Feller

---

It is important to us and the community at large that the Village of Sherwood have a vibrant and successful golf course in this recreational area. We realize it might be necessary for the golf course to look at all available options to make themselves financially stable. We hope High Cliff Golf Course continues to be a jewel for all to enjoy!

Dale & Martha Albers

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER

## Cottage Project

From: petelowe@tds.net <petelowe@tds.net>

Sent: Wed, Jun 10, 2020 at 3:28 pm

To: cfeller@pga.com

---

Hi Corey,

I am sending this on behalf of our family to offer our support for the High Cliff cottage project. As you know, we are frequent visitors to the golf course and pub and believe the village should support you in your endeavors to ensure the existence of High Cliff Golf Course and surroundings.

Best of luck to you,

Pete, Cyndie, McKenna, and Reagan Lowe

N7988 Waterview Drive

Sherwood

RECEIVED

JUL 08 2020

V. SHERWOOD TREASURER



**Wisconsin Department of Transportation**  
Office of the Secretary  
4822 Madison Yards Way, S903  
Madison, WI 53705

**Governor Tony Evers**  
**Secretary Craig Thompson**  
[wisconsindot.gov](http://wisconsindot.gov)  
Telephone: (608) 266-1114  
FAX: (608) 266-9912  
Email: [sec.exec@dot.wi.gov](mailto:sec.exec@dot.wi.gov)

July 7, 2020

Dear Local Official:

I want to start by thanking you for the tremendous partnership during these trying times. Thanks to the open lines of communications and hard work by so many of you we have been able to keep our transportation projects on schedule and even accelerated in certain cases.

In order to make sure that we continue on this successful path I just wanted to reach out and emphasize how important the local permitting process is to this success. As more requests for local permits such as Conditional Use permits may be requested of you during these upcoming weeks/months, we just want to remind you how important timely disposition of these requests are to efficiently and effectively providing the transportation network we all want.

Infrastructure improvement and development is vital to Wisconsin's economy and the Wisconsin Department of Transportation is committed to keeping infrastructure projects on schedule.

Thanks again for your partnership and commitment to Wisconsin's infrastructure and economy.

Sincerely,

A handwritten signature in black ink, appearing to read "Craig Thompson".

Craig Thompson  
Secretary-Designee  
Wisconsin Department of Transportation

## Randy Friday

---

**From:** Clerk Treasurer  
**Sent:** Monday, July 06, 2020 3:37 PM  
**To:** Randy Friday  
**Subject:** FW: Communication to Village Board Members

**From:** Craig <csbooher@athenet.net>  
**Sent:** Friday, June 19, 2020 4:25 PM  
**To:** Clerk Treasurer <clerk-treasurer@villageofsherwood.org>  
**Subject:** Communication to Village Board Members

Please forward the following communication to each of the Village Board Members.

Thank you.

Craig Booher

Dear Village of Sherwood Board Member:

Around the beginning of last week I received notice of a Public Hearing to be held on Monday July 13 concerning the plans of Drive Fore Success for the 18<sup>th</sup> hole of High Cliff Golf Course. I was dismayed to see that input from residents will be limited to a Webex format. I am writing to request that you reconsider that decision and provide an avenue for residents to directly address the board.

I see at least three possible alternatives for the meeting which would allow residents to stand before the board and communicate their thoughts:

- Postpone the hearing until the COVID-19 restrictions have been lifted. There is precedence for postponing the hearing on this topic. Hearings were postponed/cancelled at least three times at the beginning of this year, AT THE REQUEST OF Drive Fore Success because, apparently, they were not ready to deliver a complete proposal.
- Arrange for residents to wait outside the building where the meeting is to occur and successively enter the meeting room in small numbers to maintain social distancing.
- Hold the meeting in a larger venue, or even outdoors (Wanick Choute Park?) where social distancing can be more easily enjoyed.

I'm sure other alternatives could also present themselves for your consideration.

I am opposed to a Webex venue for this meeting for several reasons. First, not everyone is comfortable using computer technology, especially that which goes beyond simple email and social media interactions. Second, there are undoubtedly those who don't have access to computers/the Internet/Webex technology. In either case, we are disenfranchising these individuals by placing a technical impediment in front of them. Third, Webex provides an

awkward medium for facilely conducting a public hearing with numerous attendees. I attended the previous public hearing held using Webex and found the communication from residents and between board members very difficult to follow. Technical glitches impeded the meeting and it was difficult to hear all that was being said. Such an interface undermines the ability of the residents to communicate their thoughts effectively and for the board to experience the facts as well as the feelings of the residents.

The issue in front of the board is too important to be addressed without full and easy participation by the residents of Sherwood. Therefore, I urge you to reposition the public hearing so that residents at least have the option of live, in-person participation.

Sincerely,

Craig S. Booher

W4897 Golf Course Rd.

*Wisconsin Open Meetings Law Compliance Guide* 11 (May 2019), <https://www.doj.state.wi.us/sites/default/files/office-open-government/Resources/OML-GUIDE.pdf>.

When an open meeting is held by teleconference or video conference, the public must have a means of monitoring the meeting. DOJ concludes that, under the present circumstances, a governmental body will typically be able to meet this obligation by providing the public with information (in accordance with notice requirements) for joining the meeting remotely, even if there is no central location at which the public can convene for the meeting. A governmental body conducting a meeting remotely should be mindful of the possibility that it may be particularly burdensome or even infeasible for one or more individuals who would like to observe a meeting to do so remotely—for example, for people without telephone or internet access or who are deaf or hard of hearing—and appropriate accommodations should be made to facilitate reasonable access to the meeting for such individuals.

To be clear, providing only remote access to an open meeting is not always permissible, as past DOJ guidance shows. Where a complex plan, drawing, or chart is needed for display or the demeanor of a witness is significant, a meeting held by telephone conference likely would not be “reasonably accessible” to the public because important aspects of the discussion or deliberation would not be communicated to the public. *See* 69 Op. Att’y Gen. at 145. Further, the type of access that constitutes reasonable access in the present circumstances, in which health officials are encouraging social distancing (including avoiding large public gatherings) in order to mitigate the impact of COVID-19, may be different from the type of access required in other circumstances. Ultimately, whether a meeting is “reasonably accessible” is a factual question that must be determined on a case-by-case basis. *Id.*

If you have questions or concerns regarding the application of the open meetings law, please contact the Office of Open Government at (608) 267-2220.

**MEMO**

**DATE:** July 6, 2020

**TO:** All Technical College and School District Business Managers, Municipal Clerks and Treasurers' of taxing jurisdictions within Calumet County

**FROM:** Michael V. Schlaak, Calumet County Treasurer

**RE:** Calumet County Administrative Services Committee Agenda Item, July 14<sup>th</sup>, 2020 regarding Wisconsin Act 185, specific to Property Tax Installment Deferral.

At the request of one of our municipalities, specific discussion will include whether or not to approve (or forward) a resolution to the County Board regarding Act 185. This will take place at the Calumet County Administrative Services Committee meeting on July 14<sup>th</sup>, 2020 at 8:30 A.M.

One provision of Act 185, deferral of installment property tax payments interest/penalty free from the current due date of July 31<sup>st</sup>, 2020, until October 1<sup>st</sup>, 2020 will be discussed. If passed by the Administrative Services Committee, it would then be forwarded to the Calumet County Board for consideration at the July 21, 2020 Board meeting.

One impact of such passage is changing the date of final 2019 tax roll settlement payments from August 20<sup>th</sup>, 2020 to September 20<sup>th</sup>, 2020.

Please forward/discuss as appropriate, with necessary personnel/administration within your taxing jurisdiction so all are aware of the potential financial impact for your respective taxing jurisdictions.

If you care to submit a formal response, please do so in writing, and email your response to the Committee Clerk, Beth Hauser at [Beth.Hauser@calumetcounty.org](mailto:Beth.Hauser@calumetcounty.org).



## Randy Friday

---

**From:** Beth Hauser <Beth.Hauser@calumetcounty.org>  
**Sent:** Thursday, July 09, 2020 8:43 AM  
**To:** Randy Friday; Mike Schlaak  
**Subject:** RE: Act 185 Discussion Calumet County 7/14/2020 Administrative Services Committee

Randy,



Please feel free to send in a response Tuesday morning. I will have my laptop with me at the meeting and can share your correspondence with the committee verbally. I will need to receive it no later than 8:45 AM.

Thanks,  
Beth

**Beth Hauser**  
County Clerk  
County Clerk's Office



206 Court St | Chilton, WI 53014  
Phone (920) 849-1458 | Toll-Free (833) 620-2730  
Fax (920) 849-1469 | [www.calumetcounty.org](http://www.calumetcounty.org)

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**From:** Randy Friday <administrator@villageofsherwood.org>  
**Sent:** Wednesday, July 8, 2020 7:27 PM  
**To:** Mike Schlaak <Mike.Schlaak@calumetcounty.org>  
**Cc:** Beth Hauser <Beth.Hauser@calumetcounty.org>  
**Subject:** RE: Act 185 Discussion Calumet County 7/14/2020 Administrative Services Committee

\*\*\*\* This message was sent from an external source. ONLY open attachments or click on links from known senders. \*\*\*\*

Mike (and Beth),

At this point, I do not intend on attending the July 14, Tuesday AM meeting. The short timeframe in which to respond precludes me from getting this information to my Board for their consideration and input. Our next meeting is that Monday evening, which is after the Monday, Noon cut-off time/date.

Regards,

## Randy Friday

---

**From:** Mike Schlaak <Mike.Schlaak@calumetcounty.org>  
**Sent:** Monday, July 06, 2020 1:58 PM  
**To:** 'sharon ott'; 'LeAnne Karls'; 'packersfan82@hotmail.com'; 'clerk@townofbrillion.com'; 'davallen1@frontier.com'; 'Kim Mueller'; 'Sheila KoehlerOakley'; 'Linda Hedrich'; 'Carie Krause'; 'Jennifer Weyenberg'; 'Mary Jo Muellenbach'; 'Mary Jo Muellenbach'; Town of Rantoul; 'Connie Loose'; 'Ralph Schmid'; 'Steven Phipps'; Clerk Treasurer; 'Sarah Thiel'; Town of Woodville; Village of Hilbert; nmg@tds.net; 'villageofstockbridge@tds.net'; Randy Friday; City of Kiel; City of Brillion; City of Chilton; 'Lisa Meyer - Deputy City Clerk'; 'Janelle Moritz'; City of New Holstein Clerk; 'Lori Beck'  
**Cc:** 'Jason Grenzer'; 'HartjesGreg@aasd.k12.wi.us'; 'Debra Phipps'; 'woelfels@chilton.k12.wi.us'; 'kasd@kimberly.k12.wi.us'; 'schaferr@kaukaunasd.org'; 'dziegelbauer@nhsd.k12.wi.us'; 'chamarx@stockbridge.k12.wi.us'; 'storch@wrightstown.k12.wi.us'; 'cachter@kiel.k12.wi.us'; 'AdessoB@mjsd.k12.wi.us'; 'vanstrat@fvtc.edu'; 'Debbie.Keehan@gotoltc.edu'; 'jpieper@morainepark.edu'; Beth Hauser  
**Subject:** Act 185 Discussion Calumet County 7/14/2020 Administrative Services Committee  
**Attachments:** MemoAct185TaxJuris.pdf  
**Importance:** High

All,

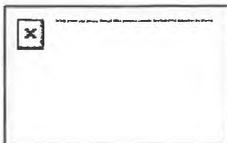
Please be advised of the attached memo.

If you care to submit a formal response, please do so in writing, and email to the Committee Clerk, Beth Hauser, at [Beth.Hauser@CalumetCounty.org](mailto:Beth.Hauser@CalumetCounty.org) by noon on Monday, July 13<sup>th</sup>, 2020.

Thanks,

Mike Schlaak  
920-849-1457

**Mike Schlaak**  
County Treasurer  
Treasurer's Office



206 Court St | Chilton, WI 53014  
Phone (920) 849-1457 | Toll-Free (833) 620-2730  
Fax (920) 849-1636 | [www.calumetcounty.org](http://www.calumetcounty.org)

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# SHERWOOD MAY 2020

2020	821	842	824	826	827	829	833	834	835	838	839	840	TOTAL	MAY	COMPLAINTS:	
HOURS WORKED	2.8	2	1	3	1	5	3.4	2.5	5.4	1	1.1	6.5	34.7	HOURS WORKED	OPEN DOOR	2
DAILY MILES	30	4	6	10	7	23	30	11	17	5	8	46	197	DAILY MILES	WELFARE	1
COMPLAINT HRS						1		0.7				0.2	1.9	COMPLAINT HRS		
FOLLOW UP HRS						1.2							1.2	FOLLOW UP HRS		
ACCIDENT INV HRS													0	ACCIDENT INV HRS		
ACC FOLLOW UP HRS													0	ACC FOLLOW UP HRS		
AGENCY ASSIST HRS													0	AGENCY ASSIST HRS		
SHERIFF COMPL. INV.						1		1				1	3	SHERIFF COMPL. INV.		
SHERIFF FOLLOW UP						1							1	SHERIFF FOLLOW UP		
SHERIFF ASSIST													0	SHERIFF ASSIST		
REPORT ACCIDENT													0	REPORT ACCIDENT		
NONREPORTABLE													0	NONREPORTABLE		
ACCIDENT FOLLOW UP													0	ACCIDENT FOLLOW UP		
ACCIDENT ASSIST													0	ACCIDENT ASSIST		
AGENCY ASSISTS													0	AGENCY ASSISTS		
CITIZEN ASSIST													0	CITIZEN ASSIST		
MOTORIST ASSIST													0	MOTORIST ASSIST		
PROPERTY CHECKS			1									9	10	PROPERTY CHECKS		
ARRESTS													0	ARRESTS		
WARRANT ATTEMPT													0	WARRANT ATTEMPT		
TRAFFIC CITS.													0	TRAFFIC CITS.		
ORD. CITS.													0	ORD. CITS.		
JUV ALCOHOL CITS.													0	JUV ALCOHOL CITS.		
O. W. I. ARRESTS													0	O. W. I. ARRESTS		
WRITTEN WARNINGS	1												1	WRITTEN WARNINGS		
15 DAYS													0	15 DAYS		
PARKING CITS.													0	PARKING CITS.		
HOUSE ALARM													0	HOUSE ALARM		
BUSINESS ALARM													0	BUSINESS ALARM		
ALARM ASSIST													0	ALARM ASSIST		
AMB. ASSIST													0	AMB. ASSIST		
FIRE ASSIST													0	FIRE ASSIST		

Agencies: CA  
 Start Date: 5/1/2020 12:00:00 AM  
 End Date: 6/1/2020 12:00:00 AM

## Incident Search & Group by City

Data from FoxComm and Calumet systems (4/8/2014 9:55 am to Present)

City/Town(s): VILLAGE OF SHERWOOD  
 Type(s): Various

Incident	Incident Date	Location	City	Incident Type	Primary	Area	All Dispos
CA20050100004036	5/1/2020 6:33:36 PM	W4728 PALMER CT	VILLAGE OF SHERWOOD	ANIMAL	C827JK	CAN	003
CA20050200004042	5/2/2020 9:01:59 AM	CLIFTON RD / JOHN ST	VILLAGE OF SHERWOOD	OPENDO	C834DK	CAN	003
CA20050200004058	5/2/2020 7:28:27 PM	N370 MILITARY RD	VILLAGE OF SHERWOOD	HAZARD	C824JM	CAN	003
CA20050300004076	5/3/2020 11:48:45 AM	W5123 NATURES WAY DR	VILLAGE OF SHERWOOD	SUSSIT	C844GB	CAN	007, 010
CA20050300004085	5/3/2020 2:49:13 PM	VETERANS AV / MILITARY RD	VILLAGE OF SHERWOOD	MISCEL	C844GB	CAN	003
CA20050300004086	5/3/2020 3:18:07 PM	N294 MILITARY RD	VILLAGE OF SHERWOOD	WELFAR	C844GB	CAN	010, 003, 010
CA20050300004098	5/3/2020 7:57:30 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	ORDINA	C843AH	CAN	007, 003
CA20050300004099	5/3/2020 9:05:31 PM	HARRISON BL	VILLAGE OF SHERWOOD	SUSSIT	C843AH	CAN	003
CA20050400004110	5/4/2020 12:25:49 PM	W599 VETERANS AV	VILLAGE OF SHERWOOD	SUSPER	C826JH	CAN	007
CA20050500004140	5/5/2020 4:35:47 PM	W450 CLIFTON RD	VILLAGE OF SHERWOOD	FIRECA		CAN	004
CA20050500004150	5/5/2020 7:37:04 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20050800004220	5/8/2020 4:22:52 PM	APPROX LOC:N7873 BLUFFSIDE CT	VILLAGE OF SHERWOOD	911AST		CAN	003
CA20050900004256	5/9/2020 7:18:23 PM	W5004 GOLF COURSE RD	VILLAGE OF SHERWOOD	WELFAR	C820DG	CAN	003, 003
CA20051100004296	5/11/2020 6:32:04 PM	W5035 BIRCHWOOD DR	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20051200004309	5/12/2020 9:50:57 AM	APPROX LOC:W4890 BRIDLE RD	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20051300004329	5/13/2020 2:22:13 AM	N508 NOTTINGHAM CT	VILLAGE OF SHERWOOD	911AST		CAN	003
CA20051300004331	5/13/2020 8:20:50 AM	N508 NOTTINGHAM CT	VILLAGE OF SHERWOOD	FRAUD	C840WP	CAN	003
CA20051300004339	5/13/2020 12:34:18 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20051300004343	5/13/2020 2:23:59 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20051300004344	5/13/2020 2:24:42 PM	W5276 NATURES WAY DR	VILLAGE OF SHERWOOD	CIVILP	C839KM	CAN	007, 007, 003
CA20051400004365	5/14/2020 2:15:18 AM	N583 MILITARY RD	VILLAGE OF SHERWOOD	DISTUR	C842JF	CAN	003, 003
CA20051400004366	5/14/2020 3:54:45 AM	N7892 STATE PARK RD	VILLAGE OF SHERWOOD	FIRECA	C842JF	CAN	003
CA20051400004379	5/14/2020 12:44:03 PM	N312 MILITARY RD	VILLAGE OF SHERWOOD	ANIMAL	C834DK	CAN	004
CA20051500004404	5/15/2020 8:08:45 AM	N525 ROBINHOOD DR	VILLAGE OF SHERWOOD	SUSSIT		CAN	007
CA20051500004413	5/15/2020 3:29:44 PM	MILITARY RD / CTH B	VILLAGE OF SHERWOOD	PARKIN	C844GB	CAN	003
CA20051500004415	5/15/2020 3:38:18 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	LOSTFO		CAN	003
CA20051500004416	5/15/2020 3:59:25 PM	N7857 EDGEWATER CT	VILLAGE OF SHERWOOD	ALARM	C840WP	CAN	003, 003
CA20051500004419	5/15/2020 5:11:57 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003

Report Name: /Custom Reports/CAD Reports/Incident Lists/Incident Search and Group by City  
 Run Date: 6/17/2020 10:12:46 AM

Agencies: CA  
 Start Date: 5/1/2020 12:00:00 AM  
 End Date: 6/1/2020 12:00:00 AM

## Incident Search & Group by City

Data from FoxComm and Calumet systems (4/8/2014 9:55 am to Present)

City/Town(s): VILLAGE OF SHERWOOD

Type(s): Various

CA20051500004427	5/15/2020 8:02:39 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20051500004432	5/15/2020 10:10:31 PM	N370 MILITARY RD	VILLAGE OF SHERWOOD	MOTOR	C827JK	CAN	002
CA20051600004452	5/16/2020 2:24:35 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20051600004453	5/16/2020 2:59:46 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	ASSTCITIZ		CAN	010
CA20051700004478	5/17/2020 11:36:10 AM	W428 MARGARET CT	VILLAGE OF SHERWOOD	WELFAR	C840WP	CAN	001, 003
CA20051700004488	5/17/2020 6:17:37 PM	MILITARY RD / CTH B	VILLAGE OF SHERWOOD	MOTOR	C840WP	CAN	003
CA20051700004489	5/17/2020 6:36:22 PM	W5282 NATURES WAY DR	VILLAGE OF SHERWOOD	MEDICA	C842JF	CAN	003, 004
CA20051800004499	5/18/2020 7:31:27 AM	SPRING HILL DR / PALISADES TR	VILLAGE OF SHERWOOD	ACCIDE	C826JH	CAN	010
CA20051900004542	5/19/2020 4:58:49 PM	W428 MARGARET CT	VILLAGE OF SHERWOOD	DISTUR	C844GB	CAN	010
CA20052000004559	5/20/2020 9:22:07 AM	N6000 TIMBERLINE DR	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20052000004563	5/20/2020 1:23:16 PM	N7771 STATE PARK RD	VILLAGE OF SHERWOOD	ANIMAL	C844GB	CAN	007, 010
CA20052000004581	5/20/2020 7:43:34 PM	W5055 GOLF COURSE RD	VILLAGE OF SHERWOOD	SUSSIT	C839KM	CAN	001
CA20052100004607	5/21/2020 1:42:31 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20052100004622	5/21/2020 8:13:19 PM	N7839 EDGEWATER CT	VILLAGE OF SHERWOOD	WELFAR	C843AH	CAN	003, 003
CA20052200004630	5/22/2020 12:44:46 AM	APPROX LOC:W671 VETERANS AV	VILLAGE OF SHERWOOD	911HAN	C844GB	CAN	003
CA20052200004656	5/22/2020 6:03:51 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20052200004662	5/22/2020 8:59:08 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	DRUGS		CAN	003
CA20052300004703	5/23/2020 5:01:31 PM	W5055 GOLF COURSE RD	VILLAGE OF SHERWOOD	DAMAGE	C829SF	CAN	002, 007, 007, 007, 007, 007, 007
CA20052300004710	5/23/2020 11:30:42 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	BATTER	C820DG	CAN	007, 007, 007, 003, 007, 007
CA20052400004720	5/24/2020 11:34:03 AM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20052400004722	5/24/2020 1:13:33 PM	STATE PARK RD / GOLF COURSE RD	VILLAGE OF SHERWOOD	BICYCL	C821BK	CAN	006
CA20052400004733	5/24/2020 5:43:20 PM	W4690 CASTLE DR	VILLAGE OF SHERWOOD	MOTOR	C829SF	CAN	003
CA20052400004738	5/24/2020 6:26:06 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20052400004739	5/24/2020 6:40:07 PM	W4730 SPRING HILL DR	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20052400004746	5/24/2020 8:27:34 PM	LOWER CLIFF RD / STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	006
CA20052400004748	5/24/2020 8:49:11 PM	W4738 NICKLAUS CT	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20052400004754	5/24/2020 10:37:51 PM	STUMPF AV / LORRAINE ST	VILLAGE OF SHERWOOD	FIREWO		CAN	002
CA20052400004756	5/24/2020 11:04:32 PM	W4854 CLIFFVIEW DR	VILLAGE OF SHERWOOD	SUSSIT	C820DG	CAN	002, 002

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## Incident Search & Group by City

Data from FoxComm and Calumet systems (4/8/2014 9:55 am to Present)

City/Town(s): VILLAGE OF SHERWOOD

Type(s): Various

CA20052500004791	5/25/2020 6:46:43 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	006
CA20052500004797	5/25/2020 8:18:40 PM	N7973 CREEKSID DR	VILLAGE OF SHERWOOD	911AST	C829SF	CAN	003
CA20052600004827	5/26/2020 7:11:20 PM	N433 MILITARY RD	VILLAGE OF SHERWOOD	911AST		CAN	003
CA20052600004831	5/26/2020 8:27:49 PM	N7612 LOWER CLIFF RD	VILLAGE OF SHERWOOD	DOMEST	C829SF	CAN	010, 005, 010, 003
CA20052700004842	5/27/2020 8:58:54 AM	HARRISON BL	VILLAGE OF SHERWOOD	SUSVEH	C830LL	CAN	003
CA20052700004858	5/27/2020 1:46:22 PM	W428 MARGARET CT	VILLAGE OF SHERWOOD	911AST		CAN	003
CA20052700004876	5/27/2020 10:38:10 PM	N378 MILITARY RD	VILLAGE OF SHERWOOD	FIRECA	C832ME	CAN	003
CA20052900004930	5/29/2020 3:50:28 PM	N470 ROBINHOOD DR	VILLAGE OF SHERWOOD	ANIMAL	C827JK	CAN	006
CA20052900004939	5/29/2020 10:50:50 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20052900004941	5/29/2020 11:19:28 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20052900004943	5/29/2020 11:38:32 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	TSTOP		CAN	003
CA20052900004944	5/29/2020 11:45:07 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	ASSTAGENCY	C842JF	CAN	003
CA20053000004950	5/30/2020 6:41:44 AM	N7721 STATE PARK RD	VILLAGE OF SHERWOOD	OPENDO	C840WP	CAN	003
CA20053000004964	5/30/2020 3:19:53 PM	W5153 NATURES WAY DR	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20053100005006	5/31/2020 10:33:41 AM	W5015 CHERRYWOOD DR	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20053100005015	5/31/2020 1:49:55 PM	LOWER CLIFF RD / LIME KILN RD	VILLAGE OF SHERWOOD	911HAN		CAN	003
CA20053100005024	5/31/2020 4:26:26 PM	N7630 STATE PARK RD	VILLAGE OF SHERWOOD	SUSVEH	C824JM	CAN	003

**Total City Count: 73**

73

Report Name: /Custom Reports/CAD Reports/Incident Lists/Incident Search and Group by City  
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## Brenda Stumpf

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**From:** Clerk Treasurer  
**Sent:** Monday, June 15, 2020 8:47 AM  
**To:** Brenda Stumpf  
**Subject:** FW: June 15 meeting regarding Wanick Park  
**Attachments:** Screenshot\_20200530-232537\_Chrome.jpg; Screenshot\_20200530-232930\_Chrome.jpg; Screenshot\_20200530-232944\_Chrome.jpg; Screenshot\_20200530-232424\_Chrome.jpg

Brenda,  
Obviously, this information was not received in time for the PRUT agenda.  
However, you can distribute as informational only to the PRUT tonight.  
I am wondering if you think it is pertinent (different from what you have) for the next Monday meeting with the VB?  
Thank you,

Kathy

**From:** lauriepluimer@hotmail.com <lauriepluimer@hotmail.com>  
**Sent:** Saturday, June 13, 2020 10:08 PM  
**To:** Clerk Treasurer <clerk-treasurer@villageofsherwood.org>  
**Subject:** June 15 meeting regarding Wanick Park

Dear Village Board,

Thank you for considering Sherwood residents' voices when making your decision to reopen our park. I would like to express my thoughts to you prior to your meeting on the 15th in hopes that you will consider what I have to say.

I understand you are trying to keep us safe by keeping the park closed but please consider the attached charts from the CDC. You can see from these charts that there is such little risk involved that it really makes no sense to keep the park shut down.

It is especially baffling why you would close tennis courts and basketball courts when we bring our own equipment for these.

I also do not see the sense in keeping our park closed when the rest of the valley's parks are open. We are simply congregating at other parks and then coming home to Sherwood after mingling with other area's residents. This is "less safe" than hanging out at our own park. I put "less safe" in quotes because if you look at the statistics then you'll see it's really not dangerous. I truly see no sense in keeping our park closed.

I also believe as tax payers we do have a right to use our park. It is upsetting that ours seems to be the last park to open.

Finally, I strongly believe it is not the village boards' job to make decisions regarding my children. That is my job as their mother who lives for them and would readily die for them. I am the one who will decide what is safe and what is not.

Please hear our voices and open our park.

Thank you for your time,

much lower than cumulative influenza hospitalization rates at comparable time points\* during recent influenza seasons.

- Based on death certificate data, the percentage of deaths attributed to pneumonia, influenza or COVID-19 (PIC) decreased from 15.9% during week 20 to 9.8% during week 21 but remained above baseline. This is the fifth week during which a declining percentage of deaths due to PIC has been recorded. The percentage remains above the epidemic threshold, and is now similar to what has been observed at the peak of some

## Randy Friday

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**From:** Corey Allen Feller <corey@highcliffgolfandeventcenter.com>  
**Sent:** Thursday, June 11, 2020 11:38 AM  
**To:** Randy Friday  
**Subject:** Fwd: Cottages at High Cliff

Corey Feller  
PGA Professional  
High Cliff Golf Course and Event Center  
Corey Feller Golf Academy  
Xavier High Boy's Golf Coach  
Team Titleist

----- Forwarded message -----

**From:** Mark Delfosse <mjdmjdw@yahoo.com>  
**Date:** Thu, Jun 11, 2020 at 11:29 AM  
**Subject:** Cottages at High Cliff  
**To:** <corey@highcliffgolfandeventcenter.com>, Dan Rippl <dan@highcliffgolfandeventcenter.com>

Hi Cory and Dan - we saw that the Village Board will be meeting again on the Cottages as well as a public Hearing in July.....is there anything we can do to help move this project along? As you know, we are very interested in the positive outcome for this project.

In 1999, we purchased a lot and built at home in Sherwood. We have continued to regard Sherwood as our home and would like to continue to reside in Sherwood.

However, in the 20 plus years we have lived here, our needs, health and age have changed. We no longer need a four bedroom/3 bath home. The two bedroom/two bath home that the design for Cottages at High Cliff has put forth is very attractive to the changes in our lives.

The zero entrance along with snow and grass maintenance is now needed!

The opportunity to do both - continue living in Sherwood and having a home that fits our current needs - is exactly what we are looking for.

Again, if there is anything we can do to help your project move forward quickly, please let us know. We are past ready to move!

Thanks  
Mark and Mary Jo Delfosse  
N7820 Lakeshore Lane  
Sherwood, WI 54169

**NEWS**

# Outagamie County will require employees, visitors to wear masks at county facilities

**Chris Mueller** Appleton Post-Crescent

Published 9:45 a.m. CT Jul. 8, 2020

APPLETON - Outagamie County will require employees, volunteers and the public to wear face masks at county facilities starting Monday.

All workers and volunteers will be required to wear masks at county facilities, on county grounds or any other places services are provided, including home visits, both indoors and outdoors, according to a statement released Wednesday morning.

Any workers in a solo workspace, or in outdoor settings where workers are separated by at least six feet or a physical barrier, will be exempt from the rule.

**RELATED:** Appleton confirms 24 new coronavirus cases over holiday weekend

**RELATED:** Wisconsin adds 495 more coronavirus cases as leaders warn state is headed 'in the wrong direction'

"Circumstances warrant increased precaution," Outagamie County Executive Tom Nelson said. "There may be a false sense of safety in some circles, but the data show otherwise."

Any visitors to the county's downtown facilities who don't have a mask will be provided with one. Anyone who refuses to wear a mask won't be allowed to enter.

"We're seeing more positive cases in Wisconsin, not fewer," Nelson said. "We owe it to our people and the public to reduce infection."

Contact Chris Mueller at 920-996-7267 or [cmueller@gannett.com](mailto:cmueller@gannett.com). Follow him on Twitter at [@AtChrisMueller](https://twitter.com/AtChrisMueller).



# MEMO

FYI  
B

**FM: Recreation Coordinator**  
**TO: Village Staff**  
**RE: Opening of Parks-July 1st**  
**Date: June. 30, 2020**

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As per the Village Board approval on June 22, 2020, the villages park will open on July 1, 2020. With that came some restrictions that are listed below.

- All playgrounds, courts, and shelter will be open.
- Bathrooms will be open with limited hours of 10am till 5pm. They will be cleaned every morning like in the past and then heavy used items, such as faucets, door handles, etc will be wiped down at 1pm everyday.
- Rentals will continue for those that choose to keep there rental. They will be signing an additional waiver in regards to the COVID-19 situation. Any new rentals that may arise must can be by residents only.
- Splash Pad will remain closed.
- Planned activities-The ice cream social and Summerfest have been cancelled. Sunday Afternoon Entertainment can still happen as these events do not draw more than 50 people. I can also monitor the social distancing rule. Movie night will still happen, the location will change from the amphitheater to either the soccer field or the great lawn area where there is more room to spread out. Tennis lessons, Zumba and FitCamp will also be starting up.

I have made up signage for the bathrooms indicating hours and other signage reminding people of the safety guidelines that I will place in the message boards, the pavilion area, and areas around the park. I have included that signage for your information.

Thanks,  
Brenda

## Randy Friday

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**From:** Brenda Stumpf  
**Sent:** Tuesday, June 30, 2020 8:51 AM  
**To:** Randy Friday; Kathy Mader; Clerk Treasurer; Kristy Van Hefty  
**Subject:** Park Opening-July 1st  
**Attachments:** Memo-Park Opening.xlsx; Restroom Sign-COVID.docx; Park guidelines.docx

Hello All-

I put a memo together in regards to the park opening tomorrow. It lists what the board had approved on Monday, June 22 at there meeting. I have also attached copies of the signage that will be displayed around the park as well. It pertains to the bathrooms and some safety guidelines.

If you have any questions, please feel free to contact me.

Thanks,

*Brenda Stumpf*  
*Recreation Coordinator*  
*Village of Sherwood*  
*W482 Clifton Rd.*  
*Sherwood, WI 54169*  
*920-989-1589*

Due to COVID-19 restroom cleaning and sanitizing recommendations

# Restrooms will be...

- **SINGLE USE**

- Please wait for the person using the facility to leave before entering the restroom.

- **Cleaned twice per day.**

- **Open from 10:00 AM to 5:00 PM.**

Please remember to keep 6 feet distance from others.

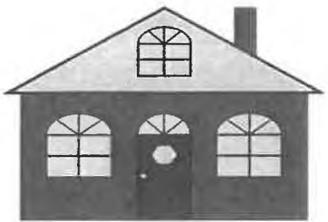




# COVID-19 SAFETY GUIDELINES



Use Playgrounds, picnic tables or other shared equipment At Your Own Risk. These items are not being sanitized.



Feel Sick? Please Stay at home. Have a cough or fever? Call your doctor.



Physically Distance 6 feet from others. Maintain a safe distance from others not in your household.



Avoid Congregating. Maintain a safe distance and allow others to leave before entering crowded areas.



Wash your hands often and thoroughly. Wash hands for 20 seconds with soap and water or use an alcohol based hand sanitizer.